

CONSTRUCTION PLANS FOR SOUTHWOOD PARK IMPROVEMENTS

14318 PARKVIEW DRIVE
PRAIRIEVILLE, LOUISIANA 70301
OCTOBER 22, 2024

CLIENT



PARISH OF ASCENSION GOVERNMENT

CLINT COINTMENT

PARISH PRESIDENT

COUNCIL MEMBERS

OLIVER JOSEPH, DISTRICT 1
JOEL ROBERT, DISTRICT 2
TRAVIS TURNER, DISTRICT 3
BRETT ARCEAUX, DISTRICT 4
TODD VARNADO, DISTRICT 5
CHASE MELANCON, DISTRICT 6

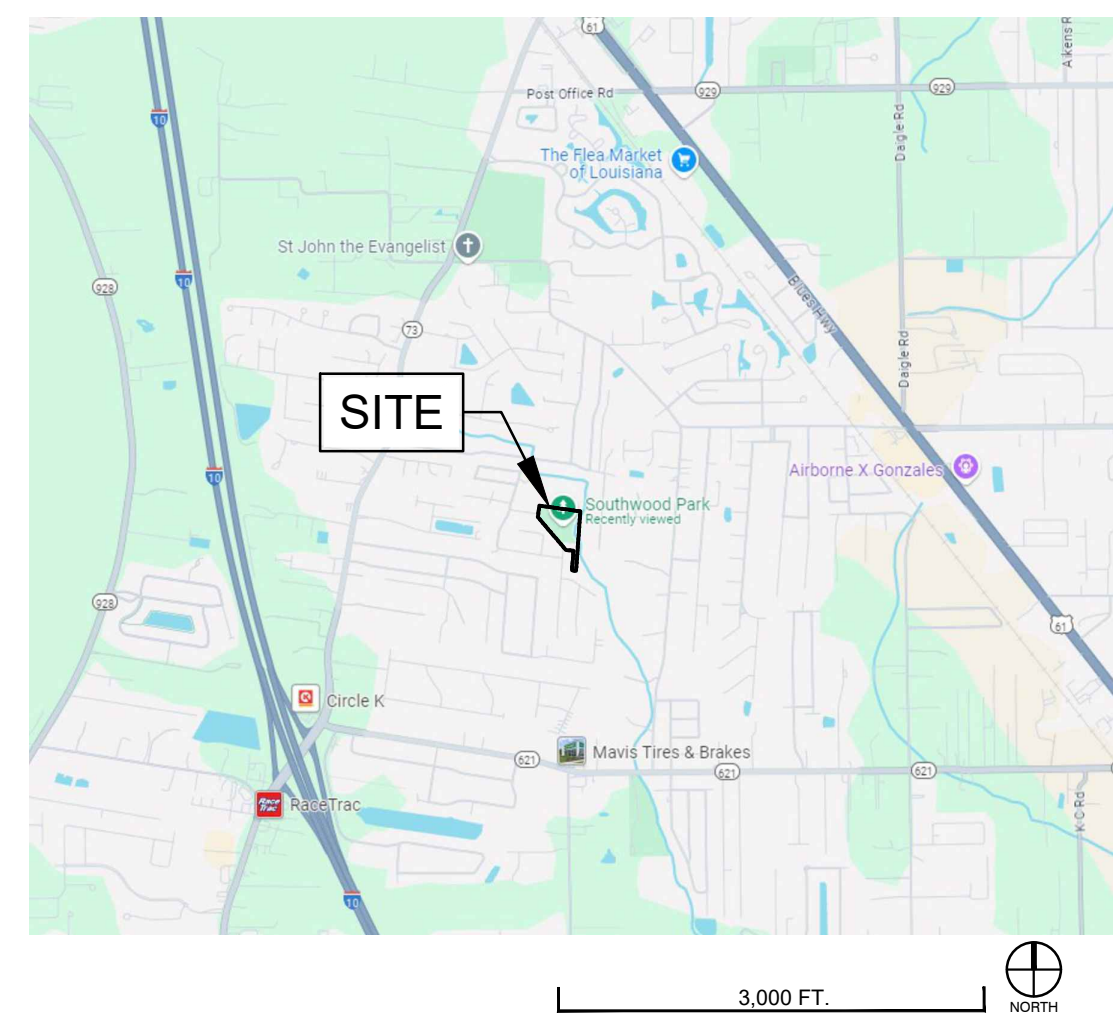
BRIAN HILLENSBECK, DISTRICT 7
BLAINE PETITE, DISTRICT 8
PAM ALONSO, DISTRICT 9
DENNIS CULLEN, DISTRICT 10
MICHAEL MASON, DISTRICT 11

PARISH STAFF

BRANDON SMITH, CPRP
RANDY MULLIS

DIRECTOR OF RECREATION
PROJECT MANAGER

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VICINITY MAP



AREA MAP

DESIGN TEAM

LANDSCAPE ARCHITECT
DUPLANTIS DESIGN GROUP, PC
9015 BLUEBONNET BLVD.
BATON ROUGE, LA. 70810
PHONE - 225-751-4490
MICHAEL L. PETTY, PLA (mpetty@ddgpc.com)

ELECTRICAL ENGINEER
PARISH ENGINEERING, LLC
7600 INNOVATION PARK DR.
BATON ROUGE, LA 70820
PHONE - 225-332-0222
MICHAEL L. TERRY, III, P.E.

SOUTHWOOD PARK IMPROVEMENTS
14318 PARKVIEW DRIVE
PRAIRIEVILLE, LOUISIANA
ASCENSION PARISH GOVERNMENT



9015 BLUEBONNET BLVD.
BATON ROUGE, LA 70810
225.751.4490



Michael L. Petty
10/22/24

**BID SET -
NOT FOR
CONSTRUCTION**

PROJECT NO. 24-1442

ISSUED FOR BID
10/22/2024

CHECKED BY MLP
DRAWN BY KAH

SHEET

COVER SHEET

G-0.0

PROJECT GENERAL NOTES AND DEFINITIONS:

PROJECT DESCRIPTION:
THE PROPOSED PROJECT INCLUDES THE MODIFICATION AND EXPANSION OF THE PARK FACILITIES INCLUDING NEW PICKLEBALL COURTS, A PRE-ENGINEERED RESTROOM BUILDING, SIDEWALKS, DRAINAGE, AND OTHER ASSOCIATED SITE IMPROVEMENTS.

PROJECT REQUIREMENTS:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS FROM ANY GOVERNING BODIES AND AGENCIES NEEDED FOR CONSTRUCTION.

UTILITIES & PIPELINES:
THE PROJECT SITE INCLUDES SEVERAL EXISTING UTILITIES, OVERHEAD AND UNDERGROUND, WHICH WILL REQUIRE ATTENTION DURING THE WORK. ALL UTILITIES WILL REQUIRE LOCATION BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST CONTACT LOUISIANA ONE CALL (1-800-272-3020) A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE UTILITIES FIELD LOCATED. IF ANY UNFORESEEN UTILITY LINE, ETC., IS OBSTRUCTING SCOPE OF WORK, NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY.

THE UTILITIES INDICATED ON THE DRAWINGS WILL REQUIRE ACCURATE LOCATION BY THE CONTRACTOR PRIOR TO BEGINNING WORK. CLOSE MONITORING OF EXCAVATION AND EMBANKMENT ACTIVITIES AROUND THESE UTILITIES WILL ALSO BE REQUIRED BY THE CONTRACTOR DURING CONSTRUCTION.

THE CONTRACTOR SHALL MAINTAIN PROPER CLEARANCES FROM ALL OVERHEAD AND UNDERGROUND UTILITIES, AND SHALL CONTACT EACH UTILITY FOR SPECIFIC REQUIREMENTS.

PRIOR TO ALL CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS/HER OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. SHOULD A GRADE DIFFERENCE, UTILITY CONFLICT OR OBSTRUCTION TO CONSTRUCTION OCCUR, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK IN THAT AREA.

CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY DAMAGED UTILITIES AT NO ADDITIONAL COST TO THE OWNER.

THE UTILITY CONTACTS ARE AS FOLLOWS:

ELECTRIC: ENTERGY 1519 S. BURNSIDE AVE. GONZALES, LA (800) 968-8243
PHONE: AT&T (800) 288-2747

GAS: ATMOS ENERGY 40492 ABBY JAMES RD PRAIRIEVILLE, LA (225) 622-2167
WATER: ASCENSION WATER COMPANY 14169 AIRLINE HWY. GONZALES, LA (225) 675-5644

SEWER: PRIVATE TREATMENT PLANT

PROJECT CONTROL:
ALL SPECIFIED CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.

ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IN A TIMELY MANNER TO NOT ADVERSELY AFFECT PROGRESS OF WORK.

STAGING FOR MATERIALS AND EQUIPMENT SHALL BE COORDINATED WITH OWNER. CONTRACTOR SHALL BE REQUIRED TO KEEP STREETS FREE OF MUD AND DIRT AT ALL TIMES.

EQUIPMENT SHALL NOT BE ORDERED OR INSTALLED UNTIL IT IS APPROVED BY LANDSCAPE ARCHITECT. EQUIPMENT LOCATIONS MAY BE ADJUSTED ONLY WITH PERMISSION OF LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS WHICH SHOW THE FINAL INSTALLED LOCATIONS OF ALL EQUIPMENT AND UNDERGROUND PIPES/CONDUITS.

ALL CONSTRUCTION TO COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.

CONTRACTOR SHALL BE FAMILIAR WITH ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH WORK.

CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION AND DEMOLITION DEBRIS FROM SITE IN ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL REGULATIONS. NO CONSTRUCTION DEBRIS IS TO BE BURIED OR DEPOSITED ON SITE.

LAYOUT, GEOMETRY & DIMENSIONS OF ALL PROPOSED PAVING MAY REQUIRE ADJUSTMENTS IN THE FIELD. FINAL STAKING OF ALL PROPOSED WALKS AND PAVING AREAS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACING CONCRETE PAVING MATERIAL. LAYOUT OF FORMWORK SHOULD BE DONE IN A MANNER THAT RESULTS IN SMOOTH TANGENTS AND RADII AS INDICATED ON THE LAYOUT PLAN. ERRATIC FORMWORK WILL BE REJECTED.

CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL EXISTING GRADES DAMAGED DURING CONSTRUCTION, IN ORDER TO PROVIDE POSITIVE DRAINAGE.

PROJECT SEQUENCE:
THESE DOCUMENTS DO NOT DESCRIBE THE MEANS, METHODS AND PROCEDURES FOR ACCOMPLISHING THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR SETTING THESE GUIDELINES TO SUCCESSFULLY COMPLETE THE PROJECT IN THE TIME PROVIDED. BASIC ELEMENTS OF THE PROJECT INVOLVE SEQUENCING IN ORDER FOR THE CONSTRUCTION TO PROCEED IN AN ORDERLY MANNER.

PROJECT COMPONENTS:
EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION AS INDICATED ON PLANS. CONTRACTOR SHALL PROVIDE SILT FENCING AS DIRECTED BY THE LANDSCAPE ARCHITECT TO PREVENT ANY SEDIMENT OR POLLUTION FROM WASHING INTO EXISTING CATCH BASINS CURB INLETS AND DRAINAGE CANALS WITHIN THE AREAS OF THE PROJECT THAT WILL RECEIVE EARTH MOVING AND GRADING OPERATIONS. SILT FENCING SHALL BE PROVIDED AND INSTALLED AS PER PLANS AND SPECIFICATIONS.

EARTHWORK - EXCAVATION AND EMBANKMENT FOR FIELD, OPEN SPACES, AND DRAINAGE AS SHOWN ON THE PLANS AND SECTIONS.

BACKFILL AGAINST NEW SIDEWALK EDGES, TYPICALLY HOLDING BACKFILL APPROXIMATELY 1 1/2" TO 2" BELOW TOP OF SIDEWALK (IN AREAS TO RECEIVE SOD) AS TO AVOID HOLDING WATER ON PAVEMENT. FILL SHOULD BE GRADED TO ELIMINATE LARGE CLOUDS OF DIRT.

DEMOLITION GENERAL NOTES:

- CONTRACTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL MUNICIPALITIES AS WARRANTED.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY (CALL LA ONE CALL - 1.800.272.3020).
- EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO VERIFY THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT.
- CONTRACTOR TO USE CAUTION WHEN WORKING IN VICINITY OF EXISTING OVERHEAD UTILITY LINES. CONTRACTOR TO INSTALL APPROPRIATE WARNING SIGNS.
- ALL DEMOLITION AND CONSTRUCTION TO BE KEPT WITHIN THE BOUNDARIES OF THE SITE OR AS DESIGNATED.
- PROTECT STRUCTURES, UTILITIES, VEGETATION, PAVING AND OTHER FACILITIES TO REMAIN FROM DAMAGE CAUSED BY DEMOLITION AND NEW CONSTRUCTION.
- NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER AND LANDSCAPE ARCHITECT ANY UNFORESEEN OR ADVERSE CONDITIONS DISCOVERED DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
- ANY DISCREPANCIES FOUND BETWEEN OR WITHIN THE DRAWINGS AND EXISTING SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE WITHOUT CONSULTING WITH THE LANDSCAPE ARCHITECT AFTER THE DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- DEVIATION FROM PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, HIS/HER REPRESENTATIVE, OR THE LANDSCAPE ARCHITECT MAY BE CAUSE FOR WORK TO BE DEEMED UNACCEPTABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN AT NO COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, GRAVEL AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE AS NECESSARY. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION AND DEMOLITION DEBRIS IN ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL REGULATIONS. NO CONSTRUCTION DEBRIS IS TO BE BURIED OR DEPOSITED ON SITE.
- CONTRACTOR SHALL SAW CUT PAVEMENT AT ALL LOCATIONS WHERE REQUIRED PAVEMENT REMOVAL MEETS AND IS FLUSH WITH PAVEMENT WHICH IS TO REMAIN, UNLESS OTHERWISE NOTED ON PLANS. REFER TO LAYOUT SHEETS FOR LIMITS OF PROPOSED PAVEMENT.
- SURPLUS TOPSOIL MAY BE STOCKPILED ON SITE TO BE USED AS FILL MATERIAL, AS NEEDED. COORDINATE LOCATIONS WITH OWNER.
- SILT FENCING SHALL REMAIN FOR DURATION OF PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SILT FENCE AT ALL TIMES.

TREE PROTECTION NOTES:

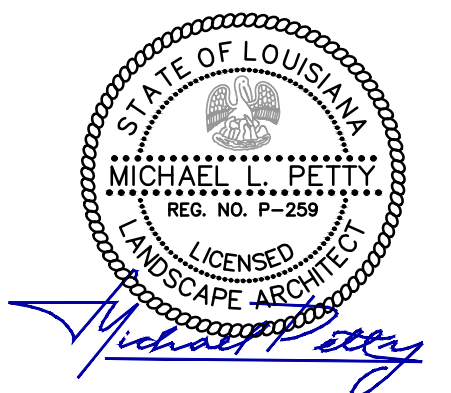
- CONTRACTOR TO PROVIDE PROTECTION AND MAINTENANCE PLAN FOR ALL TREES BEFORE AND DURING CONSTRUCTION. (SEE SPECIFICATIONS)
- REPLACEMENT COSTS FOR DAMAGED OR DEAD TREES WILL BE THE CONTRACTOR'S RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO BRING ANY DISCREPANCIES BETWEEN TREE PROTECTION PLAN AND ACTUAL SITE CONDITIONS TO THE ATTENTION OF OWNER IMMEDIATELY SO THAT WITH PROPER RESPONSE TIME, THERE WILL BE NO DELAY IN CONSTRUCTION SCHEDULE..
- CONTRACTOR SHALL NOT ALLOW ANY VEHICULAR TRAFFIC, PARKING OF VEHICLES, OR STOCKPILING OF EXCAVATED MATERIAL OR CONSTRUCTION MATERIALS INSIDE OF TREE PROTECTION FENCING OR THE DRILIPLINE OF TREES INDICATED TO BE PRESERVED.
- CONSTRUCTION EQUIPMENT MAY NOT OPERATE WITHIN THE DRIP LINE OF A TREE. IF NECESSARY, WRITTEN PERMISSION AND WRITTEN APPROVAL MUST BE ACQUIRED PRIOR TO WORK BEING PERFORMED. WHEN NECESSARY FOR THE PERFORMANCE OF INDICATED WORK, SUCH OPERATIONS SHALL BE CONDUCTED WITH SPECIAL CARE TO AVOID DAMAGING THE TREE AND UNDER DIRECTION OF THE OWNERS REPRESENTATIVE.
- PROTECT TREE ROOT SYSTEMS FROM DAMAGE DONE BY STRIPPING AND REGRADING. IF ANY EXCAVATION AND GRADING WORK SHALL BE DONE IN AREAS NEAR THE PROTECTED TREE ZONES, IT MUST BE DONE BY HAND TOOLS WHILE WORKING NEAR AND WITHIN TREE DRILIPLINES.
- PROTECT TREE ROOT SYSTEMS FROM DAMAGE DUE TO NOXIOUS MATERIALS, SPILLAGE, OR DRAINAGE FROM STORED MATERIALS.
- MAINTAIN TREE PROTECTION FENCING IN GOOD CONDITION AT ALL TIMES. TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING ANY WORK AND SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION WORK IS COMPLETE.
- ALL TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY CLEARING OR SITE WORK. FAILURE TO INSTALL AT APPROPRIATE TIME WILL RESULT DELAY. TREE PROTECTION FENCING SHALL FOLLOW THE SHAPE OF TREE'S DRILIPLINE.
- FENCING AND POSTS MUST AT ALL TIMES BE KEPT A MINIMUM OF 15'-0" FROM TREE TRUNKS. FENCING INSTALLED PAST DRIP LINE MUST BE FAR ENOUGH TO PROTECT LIMBS FROM TRUCKS AND MOVING OBJECTS.
- LANDSCAPE ARCHITECT SHALL PROVIDE WRITTEN PERMISSION FOR ANY INCURSIONS INTO TREE PROTECTION AREAS.
- CONTRACTOR RESPONSIBLE FOR MINIMAL PRUNING AND TRIMMING OF THE EXISTING TREES ON SITE, UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT, ONCE CONSTRUCTION IS COMPLETE.



SOUTHWOOD PARK IMPROVEMENTS
14318 PARKVIEW DRIVE
PRAIRIEVILLE, LOUISIANA
ASCENSION PARISH GOVERNMENT



9015 BLUEBONNET BLVD.
BATON ROUGE, LA 70810
225.751.4490



Michael L. Petty
10/22/2024

BID SET - NOT FOR CONSTRUCTION

PROJECT NO. 24-1442

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CHECKED BY MJP
DRAWN BY KAH

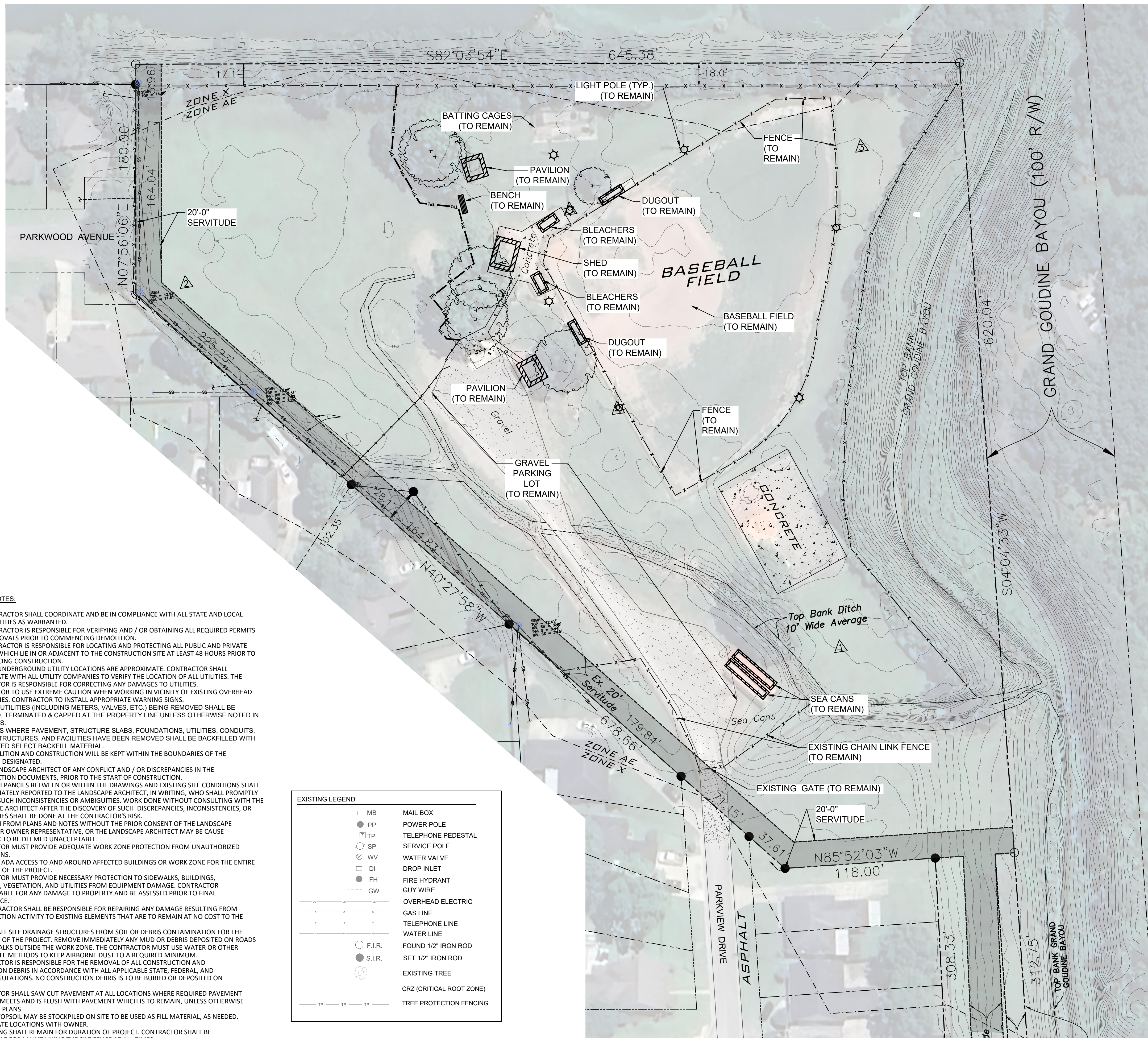
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GENERAL PROJECT NOTES

G-0.1

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LA one call
CALL LOUISIANA ONE CALL - 1-800-272-3020
LOUISIANA STATE LAW, SECTION R.S. 40:1749.15, REQUIRES EXCAVATORS & DEMOLISHERS TO NOTIFY A REGIONAL NOTIFICATION CENTER BY TELEPHONE 48 HOURS IN ADVANCE OF ANY EXCAVATION OR DEMOLITION ACTIVITY. THE OWNERS/OPERATORS OF ANY UNDERGROUND FACILITY MUST THEN MARK THE AREA OR PROVIDE INFORMATION THAT WILL ENABLE AN EXCAVATOR OR DEMOLISHER TO DETERMINE THE LOCATION OF UNDERGROUND FACILITIES.



DEMOLITION NOTES:

1. THE CONTRACTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL MUNICIPALITIES AS WARRANTED.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND / OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING DEMOLITION.
3. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
4. EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO VERIFY THE LOCATION OF ALL UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DAMAGES TO UTILITIES.
5. CONTRACTOR TO USE EXTREME CAUTION WHEN WORKING IN VICINITY OF EXISTING OVERHEAD UTILITY LINES. CONTRACTOR TO INSTALL APPROPRIATE WARNING SIGNS.
6. EXISTING UTILITIES (INCLUDING METERS, VALVES, ETC.) BEING REMOVED SHALL BE REMOVED, TERMINATED & CAPPED AT THE PROPERTY LINE UNLESS OTHERWISE NOTED IN THE PLANS.
7. ALL AREAS WHERE PAVEMENT, STRUCTURE SLABS, FOUNDATIONS, UTILITIES, CONDUITS, UTILITY STRUCTURES, AND FACILITIES HAVE BEEN REMOVED SHALL BE BACKFILLED WITH COMPACTED SELECT BACKFILL MATERIAL.
8. ALL DEMOLITION AND CONSTRUCTION WILL BE KEPT WITHIN THE BOUNDARIES OF THE SITE OR AS DESIGNATED.
9. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT AND / OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, PRIOR TO THE START OF CONSTRUCTION.
10. ANY DISCREPANCIES BETWEEN OR WITHIN THE DRAWINGS AND EXISTING SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE WITHOUT CONSULTING WITH THE LANDSCAPE ARCHITECT AFTER THE DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
11. DEVIATION FROM PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE OWNER, OR OWNER REPRESENTATIVE, OR THE LANDSCAPE ARCHITECT MAY BE CAUSE FOR WORK TO BE DEEMED UNACCEPTABLE.
12. CONTRACTOR MUST PROVIDE ADEQUATE WORK ZONE PROTECTION FROM UNAUTHORIZED PEDESTRIANS.
13. MAINTAIN ADA ACCESS TO AND AROUND AFFECTED BUILDINGS OR WORK ZONE FOR THE ENTIRE DURATION OF THE PROJECT.
14. CONTRACTOR MUST PROVIDE NECESSARY PROTECTION TO SIDEWALKS, BUILDINGS, PROPERTY, VEGETATION, AND UTILITIES FROM EQUIPMENT DAMAGE. CONTRACTOR WILL BE LIABLE FOR ANY DAMAGE TO PROPERTY AND BE ASSESSED PRIOR TO FINAL ACCEPTANCE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN AT NO COST TO THE OWNER.
16. PROTECT ALL SITE DRAINAGE STRUCTURES FROM SOIL OR DEBRIS CONTAMINATION FOR THE DURATION OF THE PROJECT. REMOVE IMMEDIATELY ANY MUD OR DEBRIS DEPOSITED ON ROADS OR SIDEWALKS OUTSIDE THE WORK ZONE. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
17. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION AND DEMOLITION DEBRIS IN ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL, AND LOCAL REGULATIONS. NO CONSTRUCTION DEBRIS IS TO BE BURIED OR DEPOSITED ON SITE.
18. CONTRACTOR SHALL SAW CUT PAVEMENT AT ALL LOCATIONS WHERE REQUIRED PAVEMENT REMOVAL MEETS AND IS FLUSH WITH PAVEMENT WHICH IS TO REMAIN, UNLESS OTHERWISE NOTED ON PLANS.
19. SURPLUS TOPSOIL MAY BE STOCKPILED ON SITE TO BE USED AS FILL MATERIAL, AS NEEDED. COORDINATE LOCATIONS WITH OWNER.
20. SILT FENCING SHALL REMAIN FOR DURATION OF PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SILT FENCE AT ALL TIMES.
21. FOR WORK OR STAGING IN OR AROUND TREES ACCURATE CANOPY DRIP LINES MUST BE SHOWN PRIOR TO SITE PLAN APPROVAL.
22. BORING, TRENCHING AND EXCAVATION UNDER DRIP LINES OF ANY TREE MUST BE PRIOR APPROVED BY LANDSCAPE ARCHITECT IN ADDITION TO THE REQUIRED APPROVED UTILITY LOCATE REQUEST.

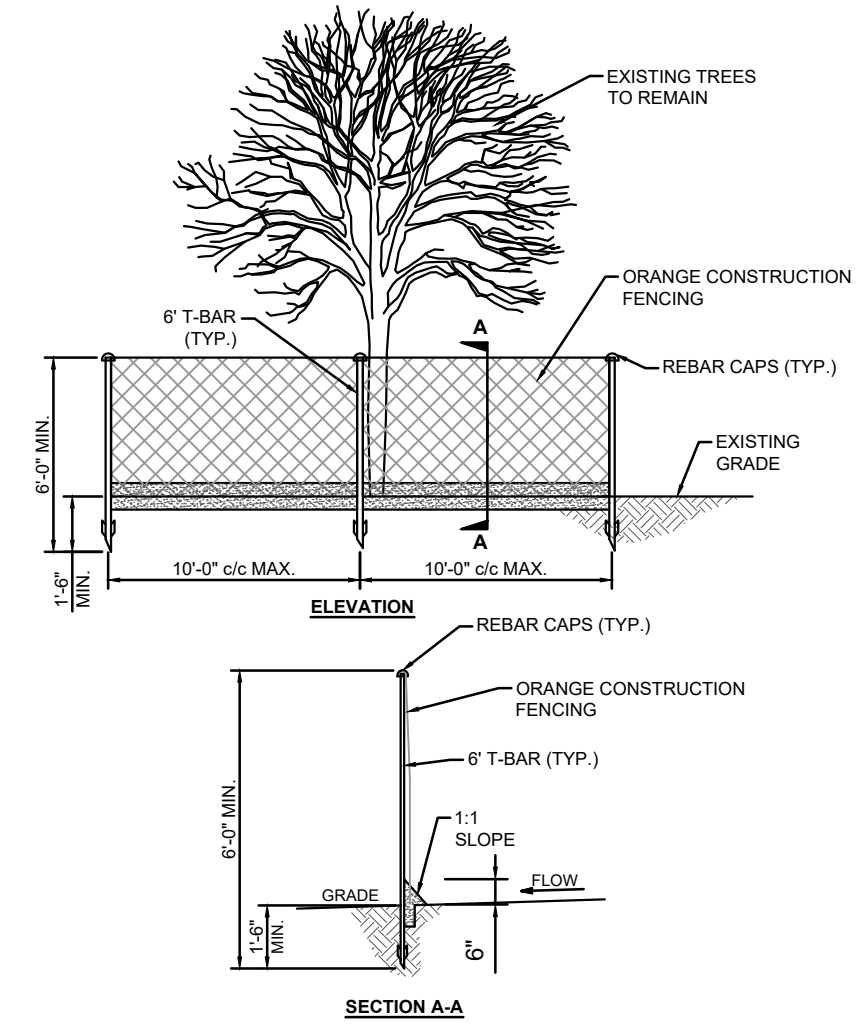
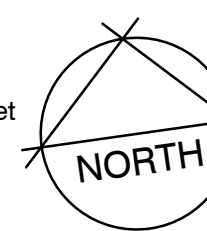
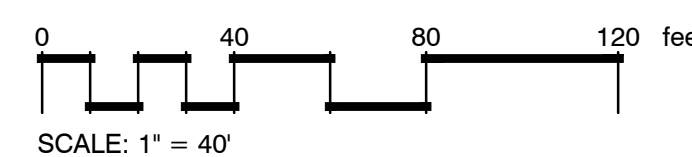
EXISTING LEGEND	
	MAIL BOX
	POWER POLE
	TELEPHONE PEDESTAL
	SERVICE POLE
	WATER VALVE
	DROP INLET
	FIRE HYDRANT
	GUY WIRE
	OVERHEAD ELECTRIC
	GAS LINE
	TELEPHONE LINE
	WATER LINE
	FOUND 1/2" IRON ROD
	SET 1/2" IRON ROD
	EXISTING TREE
	CRZ (CRITICAL ROOT ZONE)
	TREE PROTECTION FENCING

CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXCAVATING NEAR EXISTING UNDERGROUND & OVERHEAD UTILITIES

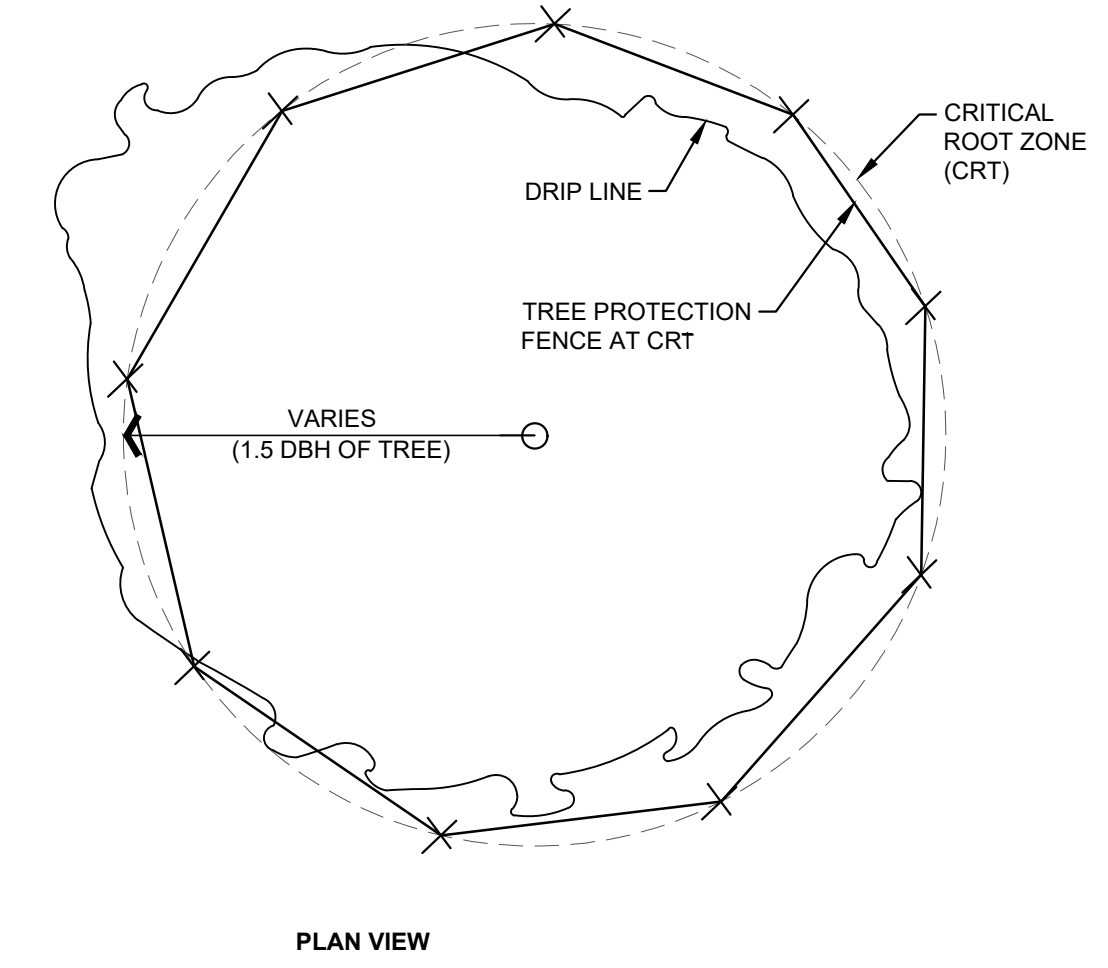
KEYNOTE SCHEDULE

CODE	DESCRIPTION	QTY	DETAIL
D-101	Tree Protection Fence	225 lf	1.2/L-1
D-102	Temporary Construction Fence	142 lf	

** REFER TO SHEETS L-7.0 AND L-7.1 FOR DETAILS **



1 TEMPORARY TREE PROTECTION FENCING
N.T.S. 132802-01



2 TREE PROTECTION ZONE
3" = 1'-0" 132802-02

CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING TURF IN ANY DISTURBED AREAS NOT SHOWN ON PLAN

QUANTITY TAKE-OFFS ARE PROVIDED FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.

EXISTING CONDITIONS AND DEMOLITION PLAN

SOUTHWOOD PARK IMPROVEMENTS
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PRAIRIEVILLE, LOUISIANA
ASCENSION PARISH GOVERNMENT

DDG
9015 BLUEBONNET BLVD.
BATON ROUGE, LA 70810
225.751.4490

STATE OF LOUISIANA
MICHAEL L. PETTY
REG. NO. P-259
LICENSED LANDSCAPE ARCHITECT

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L-0.0



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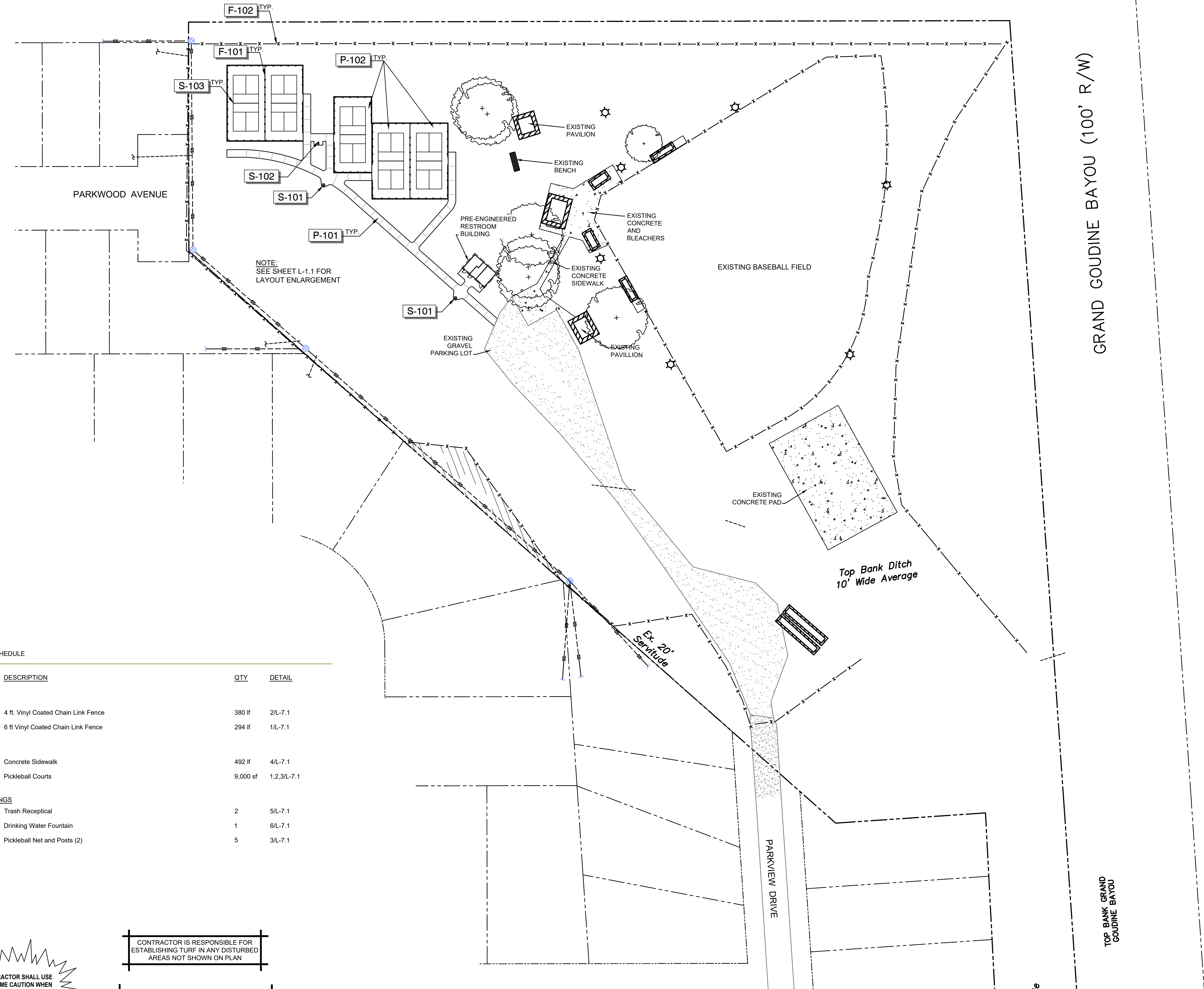
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CHECKED BY: MLP
DRAWN BY: KAH

SHEET

L-1.0



NOTE:
SEE SHEET L-1.1 FOR
LAYOUT ENLARGEMENT

KEYNOTE SCHEDULE

CODE	DESCRIPTION	QTY	DETAIL
FENCE			
F-101	4 ft. Vinyl Coated Chain Link Fence	380 lf	2/L-7.1
F-102	6 ft Vinyl Coated Chain Link Fence	294 lf	1/L-7.1
PAVING			
P-101	Concrete Sidewalk	492 lf	4/L-7.1
P-102	Pickleball Courts	9,000 sf	1,2,3/L-7.1
SITE FURNISHINGS			
S-101	Trash Receptical	2	5/L-7.1
S-102	Drinking Water Fountain	1	6/L-7.1
S-103	Pickleball Net and Posts (2)	5	3/L-7.1

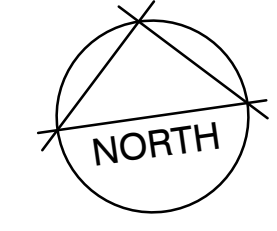
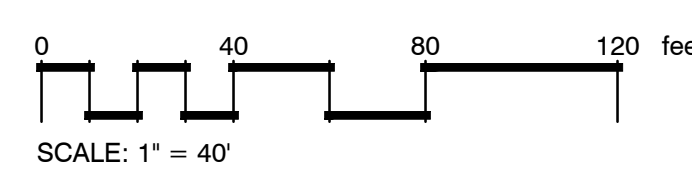
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LOUISIANA STATE LAW, SECTION R.S.40:1749.15, REQUIRES EXCAVATORS & DEMOLISHERS TO NOTIFY A
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THE AREA OR PROVIDE INFORMATION THAT WILL ENABLE AN EXCAVATOR OR DEMOLISHER TO DETERMINE
THE LOCATION OF UNDERGROUND FACILITIES.

** REFER TO SHEETS L-7.0 AND L-7.1 FOR DETAILS **



OVERALL SITE PLAN

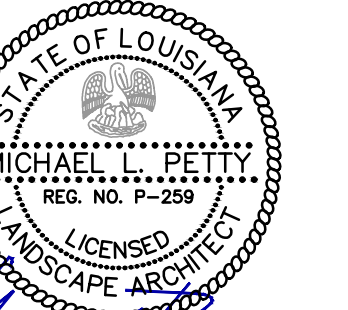
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SOUTHWOOD PARK IMPROVEMENTS
 14318 PARKVIEW DRIVE
 PRAIRIEVILLE, LOUISIANA
 ASCENSION PARISH GOVERNMENT



9015 BLUEBONNET BLVD.
 BATON ROUGE, LA 70810
 225.751.4490



Michael L. Petty
 10/22/24

**BID SET -
 NOT FOR
 CONSTRUCTION**

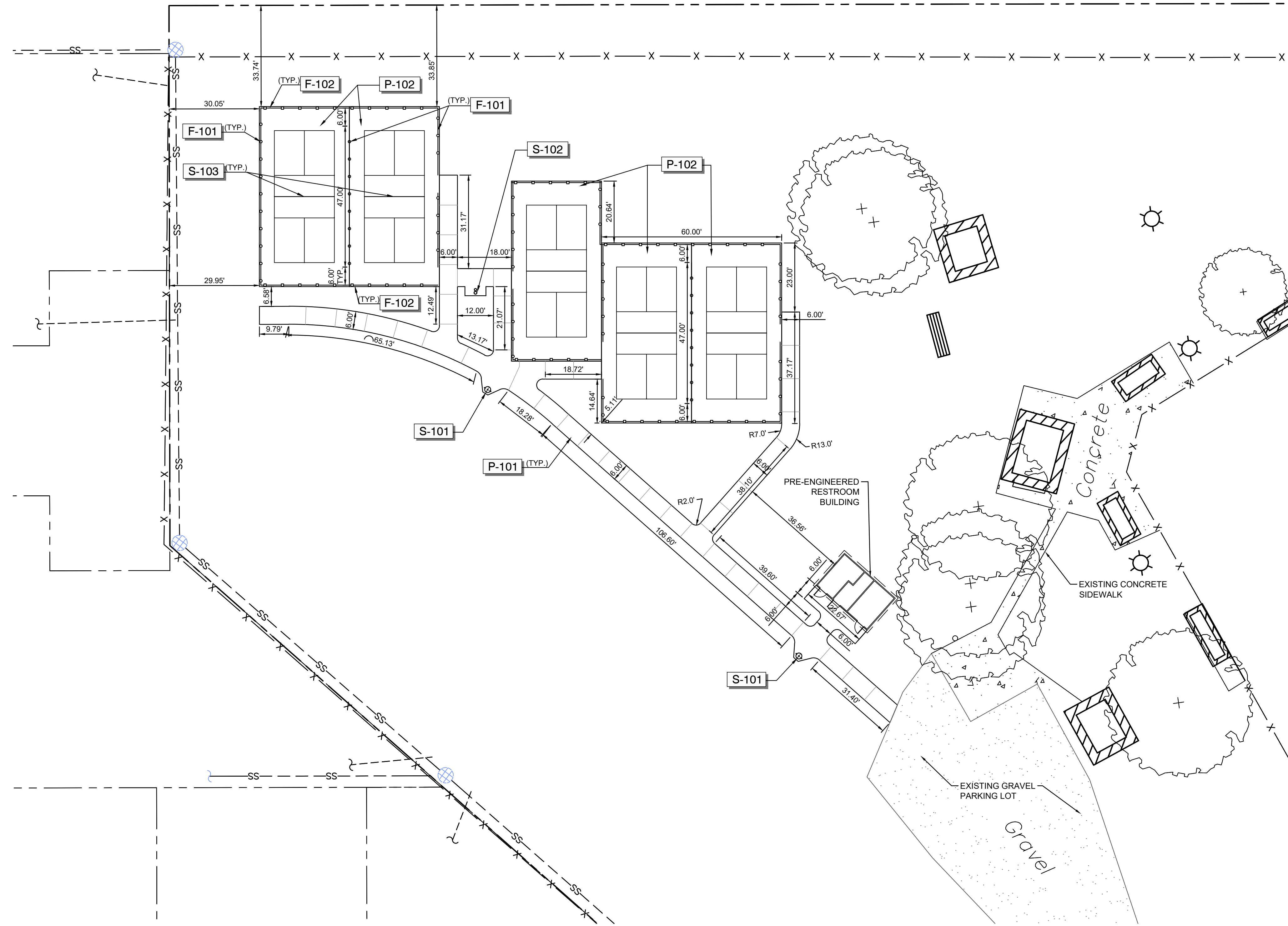
PROJECT NO. 24-1442

ISSUED FOR BID
 10/22/2024

CHECKED BY MLP
 DRAWN BY KAH

SHEET

L-1.1



SITE PLAN NOTES:

1. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOO, & WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AS INDICATED ON THE LANDSCAPING PLAN.
2. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK.
3. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES THE CONTRACTOR MUST CALL 811 AND THE LOCAL UTILITY PROVIDERS TO HAVE ALL UTILITIES MARKED WITHIN THE PROJECT AREA. AFTER UTILITIES ARE MARKED, THE CONTRACTOR SHALL PERFORM A PLAN IN HAND WALK THRU OF THE ENTIRE PROJECT AREA AND SHALL CONTACT THE CIVIL ENGINEER IMMEDIATELY IF THERE ARE ANY DEVIATIONS IN THE LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLANS AND/OR THE PRESENCE OF UTILITIES THAT ARE NOT SHOWN IN THE PLANS.
4. ALL NECESSARY PERMITS & APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS AND ALL PROPERTY MARKERS. CONTRACTOR SHALL REPLACE ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
7. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE & ALIGNMENT.
8. ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.

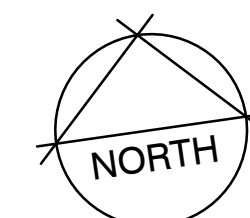
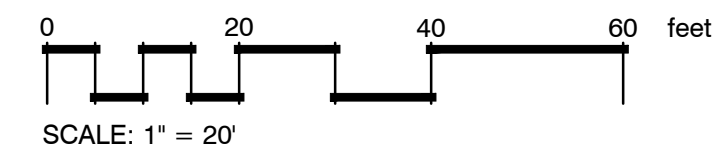
LEGEND

- SS --- SS --- EXIST. SANITARY SEWER SERVICE LINE
- OE --- OE --- EXIST. OVERHEAD ELECTRIC LINE
- W --- W --- EXIST. WATER LINE
- G --- G --- EXIST. GAS LINE
- [Symbol] EXIST. GRATE INLET
- [Symbol] EXIST. DROP INLET
- [Symbol] EXIST. JUNCTION BOX
- [Symbol] EXIST. SANITARY SEWER MANHOLE
- [Symbol] EXIST. SANITARY SEWER CLEAN OUT
- [Symbol] EXIST. POWER POLE
- [Symbol] EXIST. UTILITY POLE
- [Symbol] EXIST. LIGHT POLE
- [Symbol] EXIST. FIRE HYDRANT
- [Symbol] EXIST. WATER METER
- [Symbol] EXIST. WATER VALVE
- [Symbol] EXIST. TREE (SIZE/TYPE VARIES)
- [Symbol] EXIST. FENCE
- [Symbol] FOUND 1/2" IRON PIPE
- [Symbol] TO BE REMOVED
- [Symbol] 6' CHAIN LINK PICKLEBALL FENCE
- [Symbol] 4' CHAIN LINK PICKLEBALL FENCE (BETWEEN COURTS)

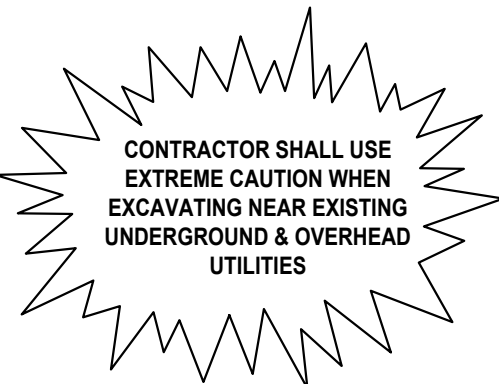
KEYNOTE SCHEDULE

CODE	DESCRIPTION	QTY	DETAIL
FENCE			
F-101	4 ft. Vinyl Coated Chain Link Fence	380 lf	2/L-7.1
F-102	6 ft Vinyl Coated Chain Link Fence	294 lf	1/L-7.1
PAVING			
P-101	Concrete Sidewalk	492 lf	4/L-7.1
P-102	Pickleball Courts	9,000 sf	1,2,3/L-7.1
SITE FURNISHINGS			
S-101	Trash Receptical	2	5/L-7.1
S-102	Drinking Water Fountain	1	6/L-7.1
S-103	Pickleball Net and Posts (2)	5	3/L-7.1

** REFER TO SHEETS L-7.0 AND L-7.1 FOR DETAILS **



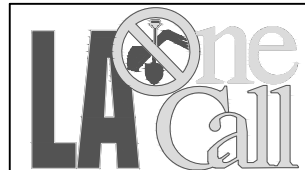
**ENLARGED
 LAYOUT PLAN**



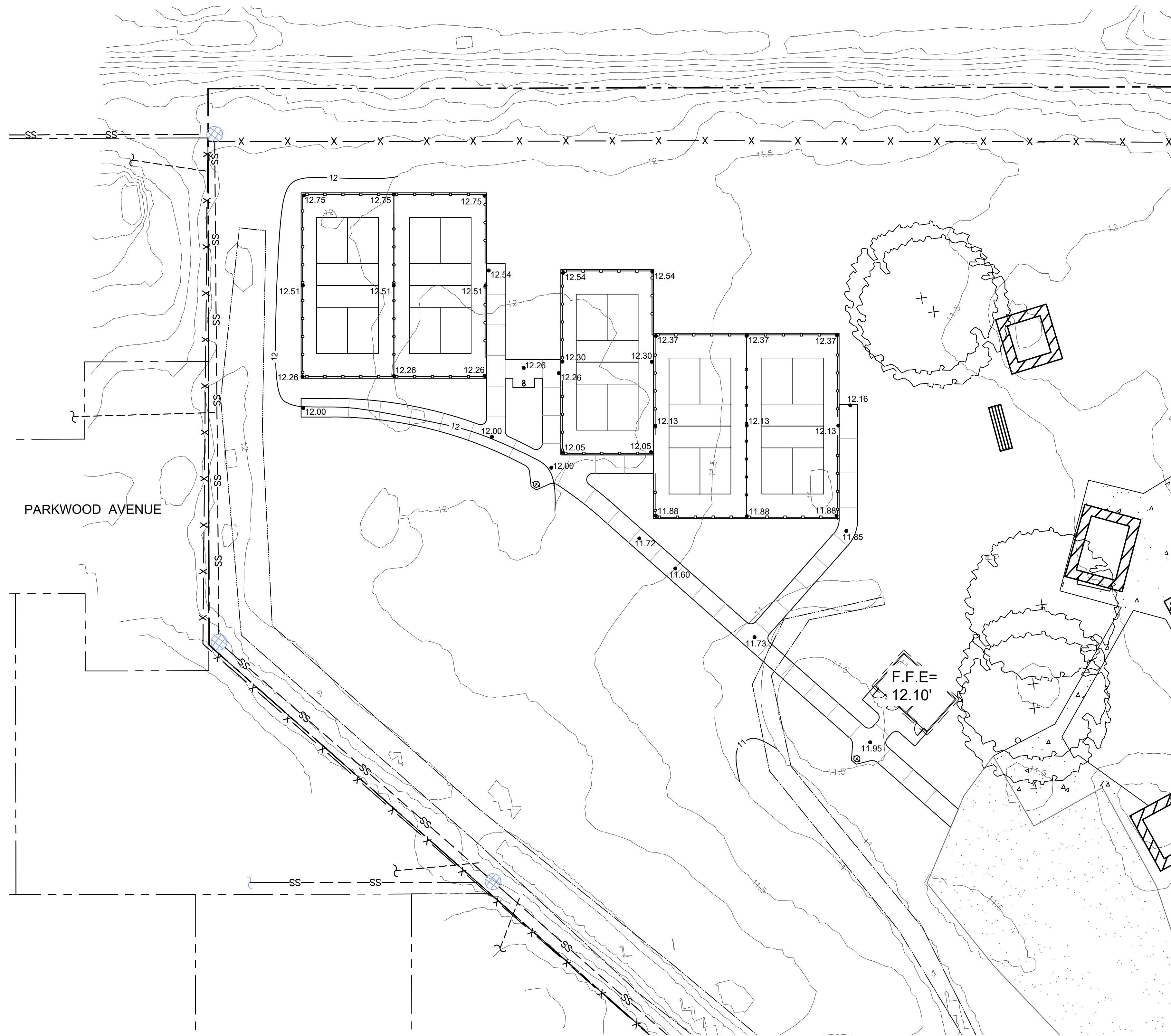
CONTRACTOR SHALL USE
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 EXCAVATING NEAR EXISTING
 UNDERGROUND & OVERHEAD
 UTILITIES

CONTRACTOR IS RESPONSIBLE FOR
 ESTABLISHING TURF IN ANY DISTURBED
 AREAS NOT SHOWN ON PLAN

QUANTITY TAKE-OFFS ARE PROVIDED FOR
 REFERENCE ONLY. THE CONTRACTOR SHALL
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NOTES TO CONTRACTOR:

- 1. CONTRACTOR SHALL BEAR THE FULL RESPONSIBILITY IN VERIFYING LOCATIONS OF EXISTING SITE UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES DURING CONSTRUCTION.
2. PROVIDE PROTECTION TO ALL EXISTING AND FINISHED WORK UNTIL ACCEPTED BY THE OWNER.
3. CONTRACTOR TO LAYOUT ALL WORK. LAYOUT TO BE APPROVED BY OWNER & LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. DETAILS SHOW ONLY VISUAL INTENT. CONTRACTOR RESPONSIBLE FOR STRUCTURAL INTEGRITY OF ALL WORK.
5. QUANTITIES ARE GIVEN FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING AN INDEPENDENT TAKE-OFF TO DETERMINE QUANTITIES THAT MEET THE DESIGN INTENT.
6. CALL THE LANDSCAPE ARCHITECT AT (225) 751-4490 TO ANSWER ANY QUESTIONS.
7. ALL PLANTING ISLANDS SHALL BE BACK-FILLED WITH FERTILE TOPSOIL. PROVIDE SAMPLE OF TOPSOIL, BED MATERIAL, & MULCH TO LANDSCAPE ARCHITECT.
8. FINISH GRADE OF SOD PANELS MUST BE FLUSH WITH TOP OF CURB OR EDGE OF PAVEMENT IN A STRAIGHT, UNIFORM PATTERN FREE FROM ALL DEBRIS.
9. EXISTING TREES, SHRUBS, AND SOD NOT DESIGNATED FOR REMOVAL SHALL BE REPLACED BY CONTRACTOR IF DAMAGED DURING CONSTRUCTION.
10. TOTALLY GRUB AREAS TO RECEIVE BEDS AND/OR SOD BY CHEMICALLY ERADICATE EMERGING VEGETATION; SCARIFYING EXISTING VEGETATION AFTER VEGETATION IS DEAD, THEN PROCEEDING WITH PROPER BED OR SOD INSTALLATION IN ACCORDANCE WITH THE TREE SPECS.
11. APPLY AN APPROVED PRE-EMERGENT HERBICIDE TO ALL BED PREP AREAS.
12. CONTRACTOR TO COORDINATE ALL SCHEDULING OF WORK WITH LANDSCAPE ARCHITECT IN ORDER THAT SITE DISRUPTION IS KEPT TO A MINIMUM AND SAFETY PRECAUTIONS MAINTAINED.
13. ANY VARIANCE FROM SPECIFIED PLANT MATERIAL'S SIZE (CONTAINER, CALIPER, HEIGHT, & SPREAD) AND SPECIES WILL BE REJECTED WITHOUT THE PRIOR WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.
14. THE CONTRACTOR SHALL SUBMIT PHOTOGRAPHS OF PLANT MATERIAL TO THE LANDSCAPE ARCHITECT PRIOR TO SELECTION AND DELIVERY. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO PRE-TAG TREES AT NURSERY SITE PRIOR TO DELIVERY, BUT WILL NOT RELINQUISH THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DAMAGED OR DOES NOT MEET SPECIFICATIONS.
15. ALL GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF SOD, SHRUBS, & TREES. CALL LANDSCAPE ARCHITECT 72 HOURS PRIOR TO INSTALLATION.
16. ALL UNDERGROUND UTILITIES SHALL BE LOCATED PRIOR TO THE START OF CONSTRUCTION.
17. REFER TO WRITTEN SPECIFICATIONS FOR DETAILED REQUIREMENTS.
18. CONTRACTOR TO INSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL WORK.
19. ALL AREAS SHALL RECEIVE A FINISH GRADE THAT ALLOWS FOR POSITIVE DRAINAGE.
20. CONTRACTOR SHALL MEET OR EXCEED ALL LOCAL JURISDICTIONAL REQUIREMENTS REGARDLESS OF WHAT IS DEPICTED ON SAID PLANS AND SPECIFICATIONS.

LEGEND - EXISTING CONDITIONS

Legend table listing symbols for MB (MAIL BOX), PP (POWER POLE), TP (TELEPHONE PEDESTAL), SP (SERVICE POLE), WV (WATER VALVE), DI (DROP INLET), FH (FIRE HYDRANT), GW (GUY WIRE), OE (OVERHEAD ELECTRIC), G (GAS LINE), T (TELEPHONE LINE), W (WATER LINE), F.I.R. (FOUND 1/2" IRON ROD), S.I.R. (SET 1/2" IRON ROD), EXISTING TREE, EXISTING SPOT ELEVATION, PROPOSED SPOT ELEVATION, SLOPE, PIPE NUMBER, STRUCTURE NUMBER.

LEGEND - TOPO

Legend table for TOPO showing symbols for EXISTING CONTOUR, EXISTING SPOT ELEVATION, and PROPOSED SPOT ELEVATION.

ABBREVIATIONS

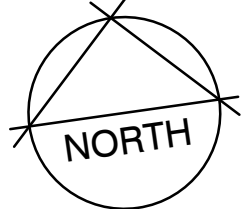
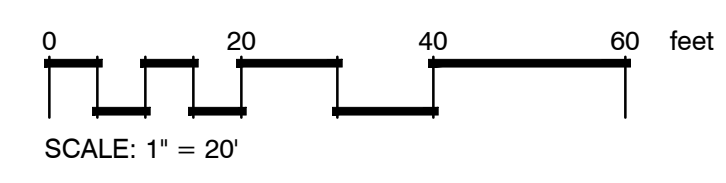
Table of abbreviations: BOS (BOTTOM OF STEP), BOW (BOTTOM OF WALL), TOS (TOP OF STEP), TOG (TOP OF GRATE), TOSC (TOP OF STRETCHER CURB), TOW (TOP OF WALL), INV (INVERT ELEVATION).

CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING TURF IN ANY DISTURBED AREAS NOT SHOWN ON PLAN.
CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXCAVATING NEAR EXISTING UNDERGROUND & OVERHEAD UTILITIES.
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Z:\2024\24-1442\LANDSCAPE\DESIGN\24-1442 L-4 GRADING PLAN.DWG

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GRADING PLAN

SOUTHWOOD PARK IMPROVEMENTS
14318 PARKVIEW DRIVE
PRAIRIEVILLE, LOUISIANA
ASCENSION PARISH GOVERNMENT



BID SET - NOT FOR CONSTRUCTION

PROJECT NO. 24-1442
ISSUED FOR BID 10/22/2024

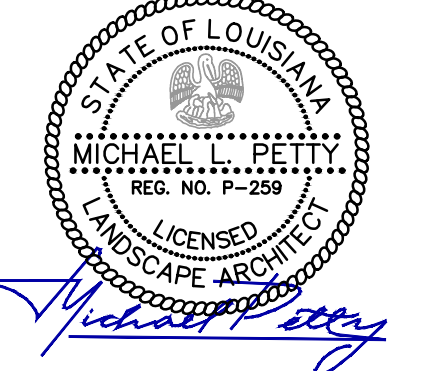
CHECKED MLP
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SHEET

L-2.0



SOUTHWOOD PARK IMPROVEMENTS
 14318 PARKVIEW DRIVE
 PRAIRIEVILLE, LOUISIANA
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BID SET - NOT FOR CONSTRUCTION

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 10/22/2024

CHECKED FOR BID MLP
 DRAWN BY KAH

SHEET

L-3.0

GENERAL NOTES

- 1.) CONTRACTOR SHALL COVER ALL UTILITY TAPPING AND TIE-IN FEES.
- 2.) CONTRACTOR SHALL COORDINATE WITH ALL LOCAL UTILITY COMPANIES FOR UTILITY CONNECTIONS.
- 3.) SEE MEP FOR ALL POWER AND ELECTRICAL.

WATER NOTES

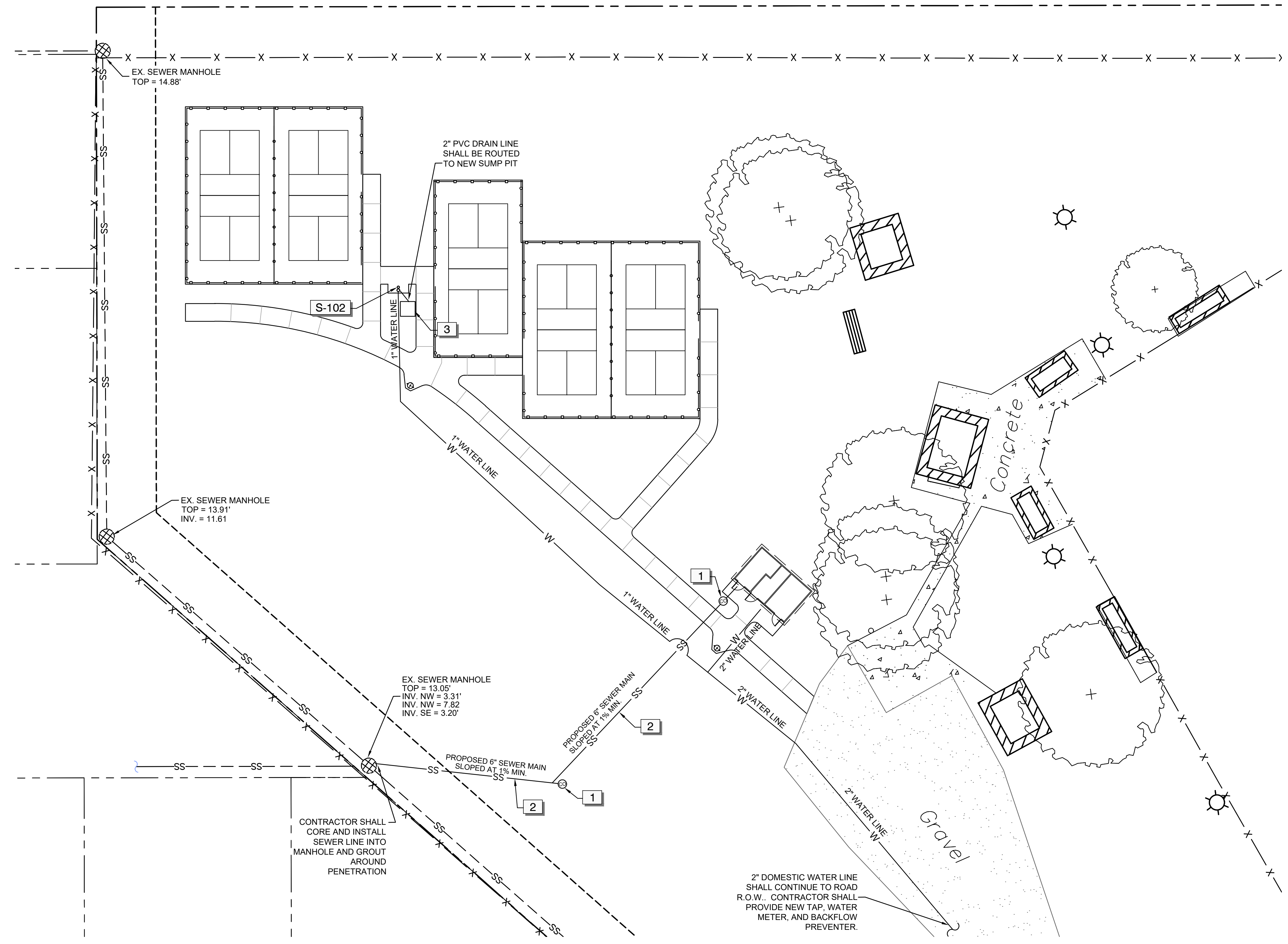
- 1.) CONTRACTOR SHALL COORDINATE ALL WATER TIES WITH LOCAL WATER CO.
- 2.) SEE MECH. PLANS TO VERIFY WATERLINE SIZES. MECH. PLANS GOVERN WATERLINE SIZES.
- 3.) BACK FLOW PREVENTORS AND DOUBLE DETECTOR CHECK VALVES SHALL HAVE THERMAL PROTECTION AND MUST MEET LOUISIANA STATE PLUMBING CODE REQUIREMENTS
- 4.) BACK FLOW PREVENTION TO BE DOUBLE CHECK ASSEMBLY (LSPC 2000-TABLE D105)

UTILITY NOTES

- 1.) THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND FLOW LINES OF ALL EXISTING SANITARY SEWERS AND WATER LINES PRIOR TO CONNECTION. ALL CONNECTIONS SHALL COMPLY WITH ALL LOCAL CODES AND/OR UTILITY COMPANY REQUIREMENTS.
- 2.) CONTRACTOR SHALL COORDINATE INSTALLATION OF WATER IMPROVEMENTS WITH THE APPROPRIATE WATER UTILITY COMPANY AND NOTIFY CIVIL ENGINEER BEFORE WORK IS DONE TO ALLOW REQUIRED PRE-CONSTRUCTION MEETING TO BE CONDUCTED BY ENGINEER. A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO ANY UTILITY WORK BEING DONE. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL RECORDS AND AS-BUILTS REQUIRED BY THE PARISH. ALL UTILITIES ARE TO BE INSTALLED ACCORDING TO ALL APPLICABLE STANDARDS AND REQUIREMENTS.
- 3.) ALL WATER PIPES SHALL CONFORM TO AWWA C-900 CLASS 150 WITH A SDR OF 18 OR THICKER. PIPE SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF LOUISIANA HEALTH DEPARTMENT, AND ASCENSION PARISH. ALL PIPE SHALL BE MARKED WITH SOLID CORE DETECTION WIRE AND WARNING TAPE IN ACCORDANCE WITH UTILITY DEPARTMENT REQUIREMENTS. ALL WATER LINES OTHER THAN FIRE SPRINKLER LINES SHALL BE TESTED AT 150 PSI. FIRE SPRINKLER SHALL BE TESTED AT 200 PSI.
- 4.) ALL SEWER LINES AND MANHOLES TO BE TESTED AFTER BUILDING CONSTRUCTION IS COMPLETE TO ASSURE SOUNDNESS AND SHALL BE RETESTED AND VIDEOED IN ACCORDANCE WITH THE MUNICIPALITY REQUIREMENTS AFTER ALL CONSTRUCTION IS COMPLETED TO ASSURE NO DAMAGE OCCURRED DURING CONSTRUCTION. ANY DAMAGES SHALL BE REPAIRED PRIOR TO ACCEPTANCE. CONTRACTOR TO VERIFY LOCATION OF SEWER SERVICE AT BUILDING WITH ARCHITECTURAL PLANS. ALL LINES WITHOUT A MANHOLE ON BOTH ENDS WILL BE INSTALLED WITH A CLEANOUT AT ALL BENDS, WYES, CONNECTIONS AND AT A MAXIMUM SPACING OF 75 FEET. ALL SEWER PIPE SHALL BE ASTM 33064 SDR35 PVC PIPE AND INSTALLED PER MANUFACTURERS REQUIREMENTS. ALL PIPE SHALL BE TESTED IN ACCORDANCE WITH THE MUNICIPALITY'S REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER. ALL MANHOLES SHALL BE CONSTRUCTED AND INSTALLED AS REQUIRED THE MUNICIPALITY'S REQUIREMENTS.
- 5.) TOP ELEVATIONS OF ALL STRUCTURES WITHIN LIMITS OF PAVEMENT SHALL, UNLESS OTHERWISE NOTED, MATCH THE PROPOSED PAVEMENT ELEVATIONS.

LEGEND

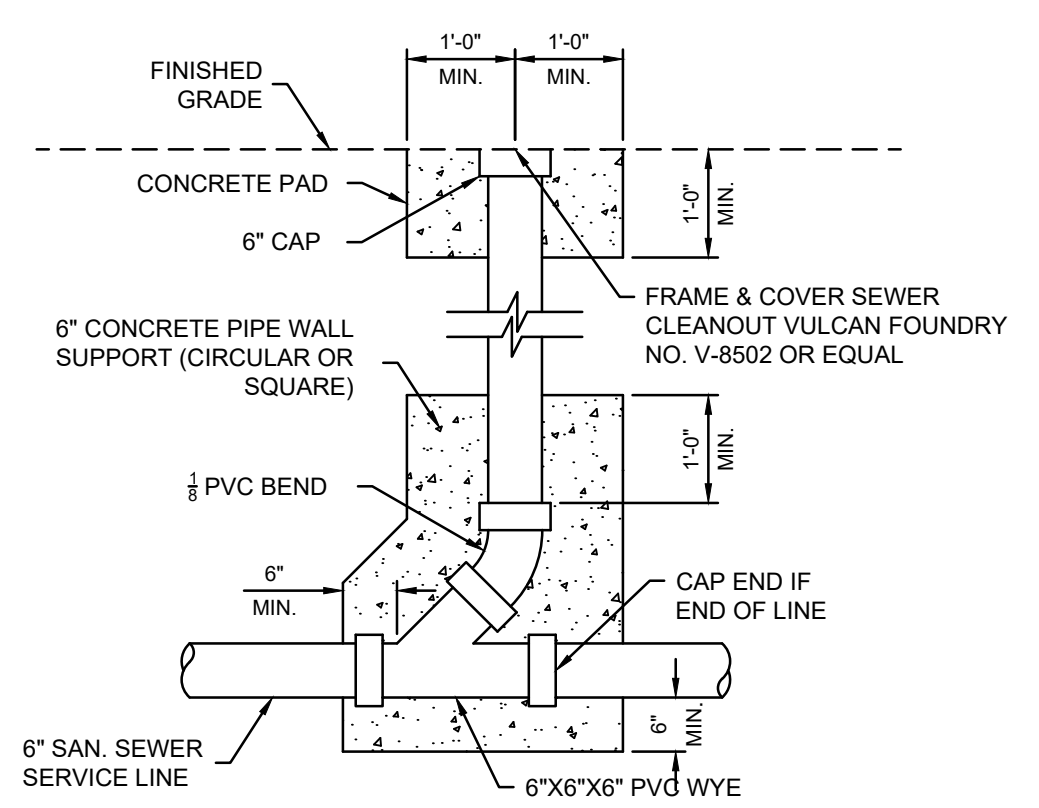
- W — PROPOSED WATER LINE
- SS — PROPOSED SANITARY SEWER LINE
- ⊕ PROPOSED SANITARY SEWER CLEANOUT
- ⊙ EX. SANITARY SEWER MANHOLE
- ⊙ EX. TREE (SIZE/TYPE VARIES)



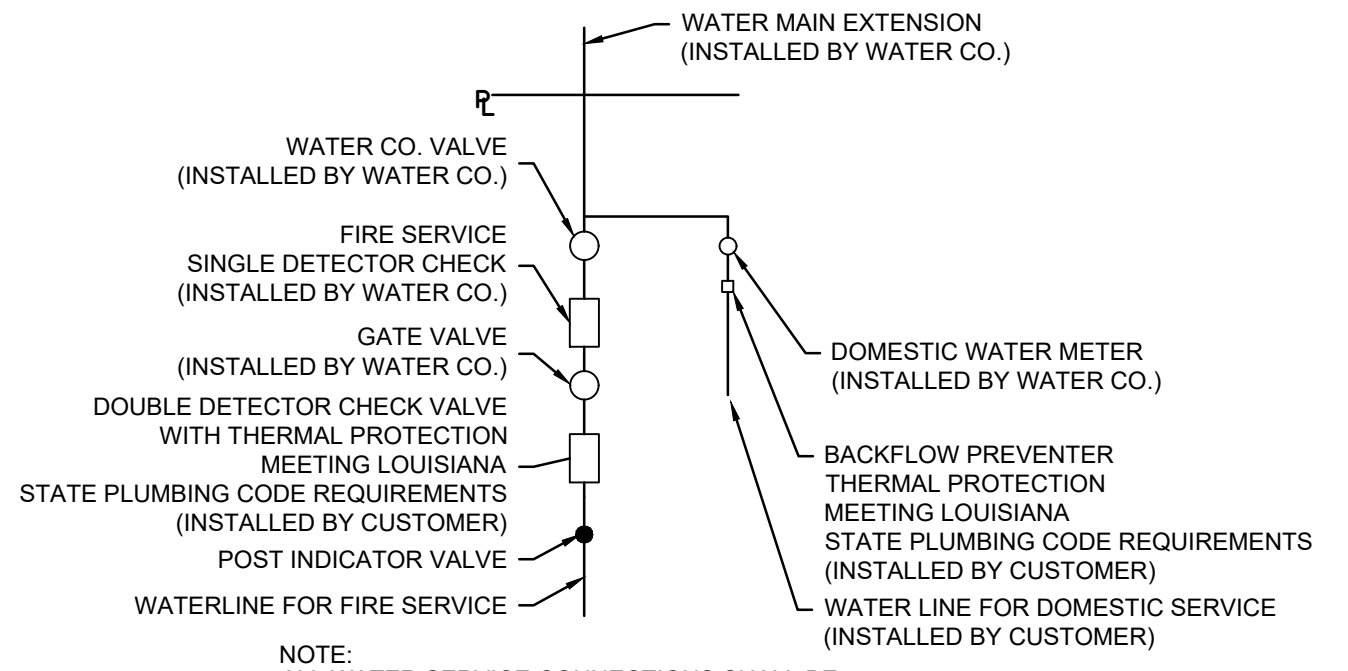
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1 6" SANITARY SEWER CLEANOUT
N.T.S.

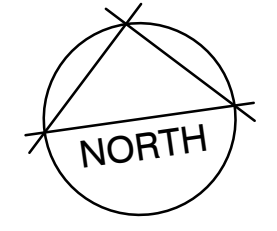
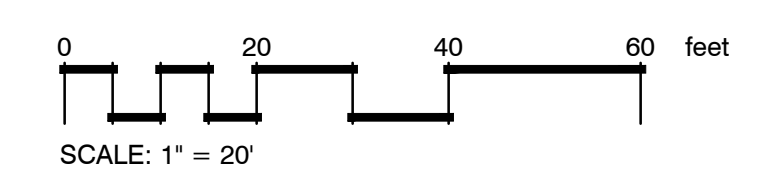


2 WATER CONNECTION DETAIL
N.T.S.

KEYNOTE_SCHEDULE

CODE	DESCRIPTION	QTY	DETAIL
1	6 in. Sanitary Sewer Cleanout	2	1/L-3.0
2	6 in. Sewer Main Line Sloped at 1% Min.	166 lf	
3	Drain Sump Pit	1	7/L-7.1
S-102	Drinking Water Fountain	1	6/L-7.1

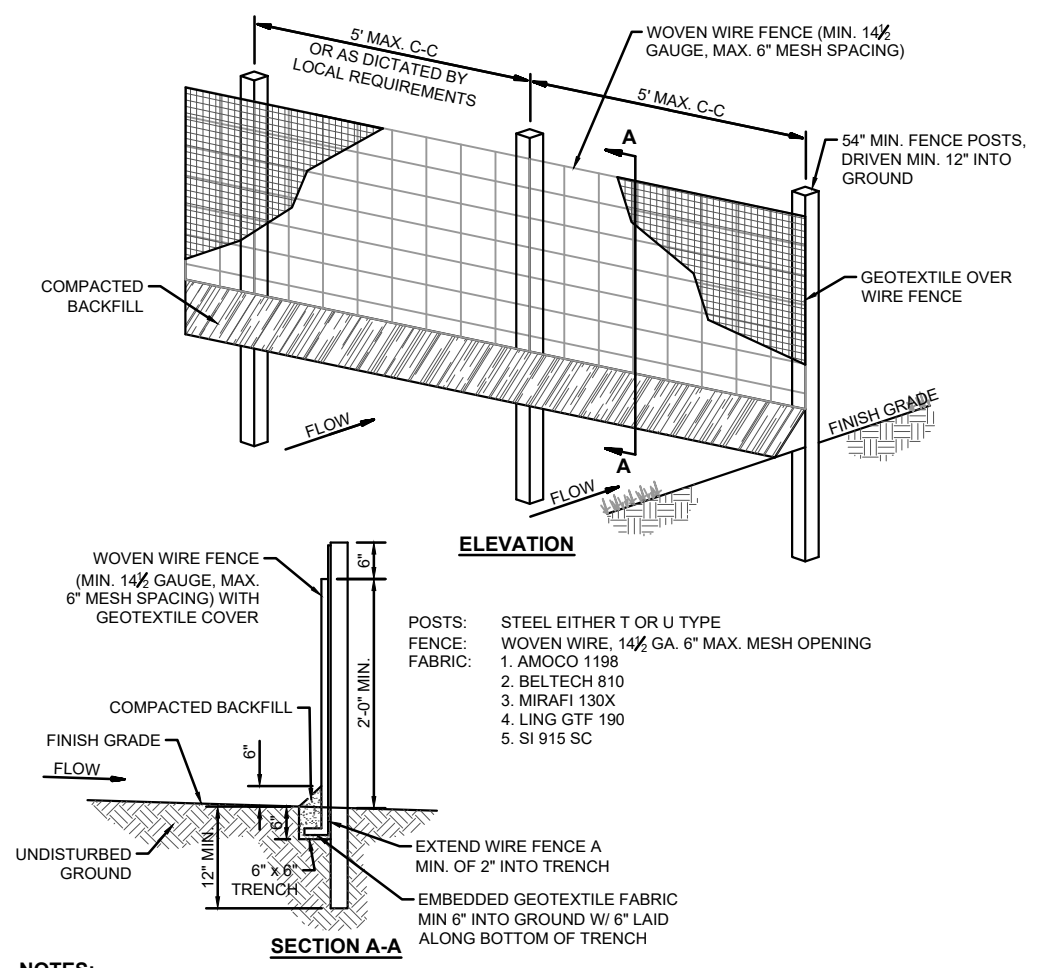
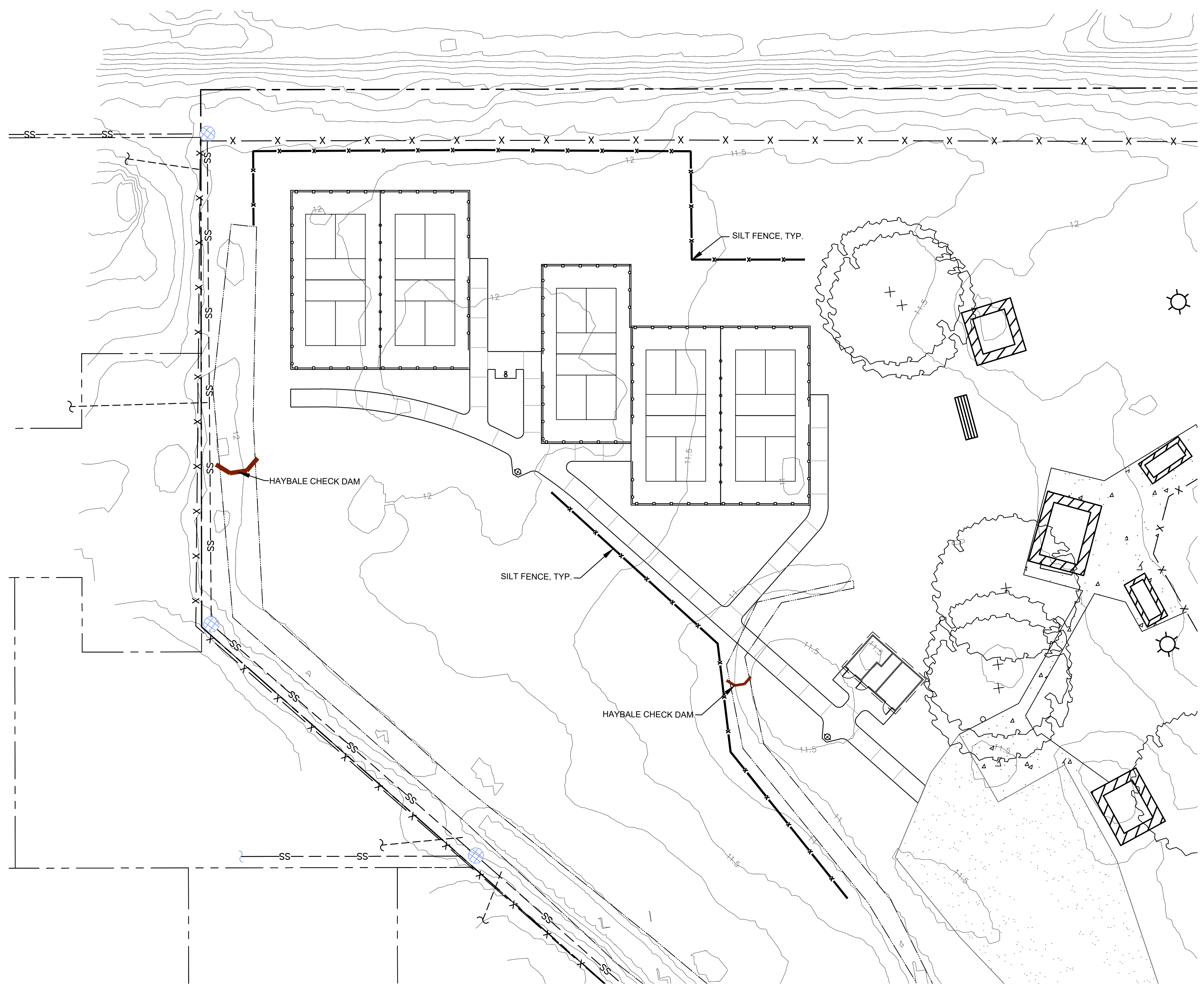
** REFER TO SHEETS L-9.0 FOR DETAILS **



UTILITY PLAN

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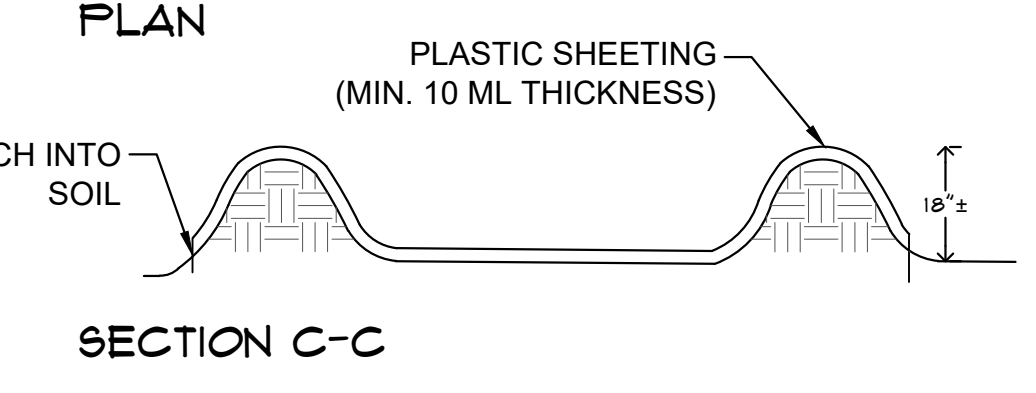
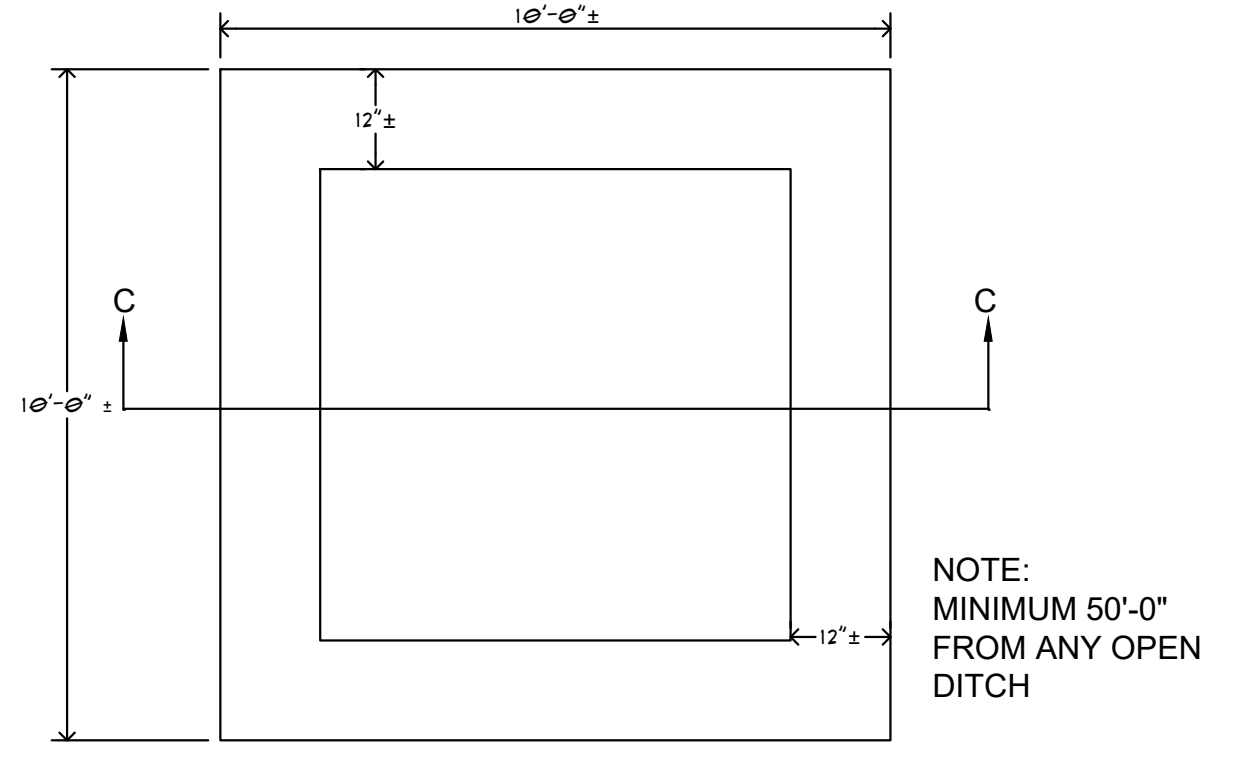
LA one call CALL LOUISIANA ONE CALL - 1-800-272-3020
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NOTES:

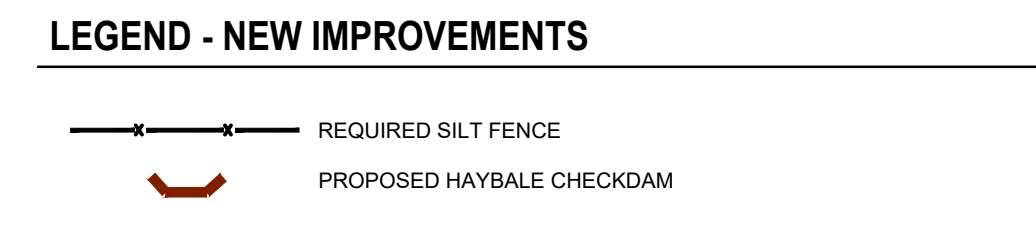
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
2. GEOTEXTILE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP & MID SECTION.
3. WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES & FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN TRUCKS OR OTHER EQUIPMENT IS IN THE SILT FENCE.
5. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS INDICATED OTHERWISE.

1 SEDIMENTATION SILT FENCE W / WIRE SUPPORT
N.T.S. 132802-05



2 CONCRETE WASHOUT DETAIL
N.T.S. 132802-07

- EROSION CONTROL NOTES:**
1. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH LOUISIANA DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT (D.O.T.D.) STANDARD PLAN EC-01 (TEMPORARY EROSION CONTROL DETAILS). IN ADDITION, ALL REQUIREMENTS OF THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ARE TO BE FOLLOWED. A NOTICE OF INTENT (NOI) WILL NEED TO BE SUBMITTED BY THE DEVELOPER / CONTRACTOR.
 2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
 3. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED.

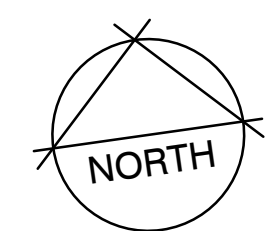
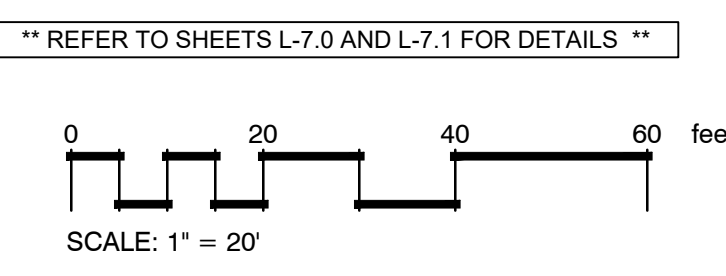


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EROSION CONTROL & SEDIMENTATION PLAN

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ASCENSION PARISH GOVERNMENT

DDG
9015 BLUEBONNET BLVD.
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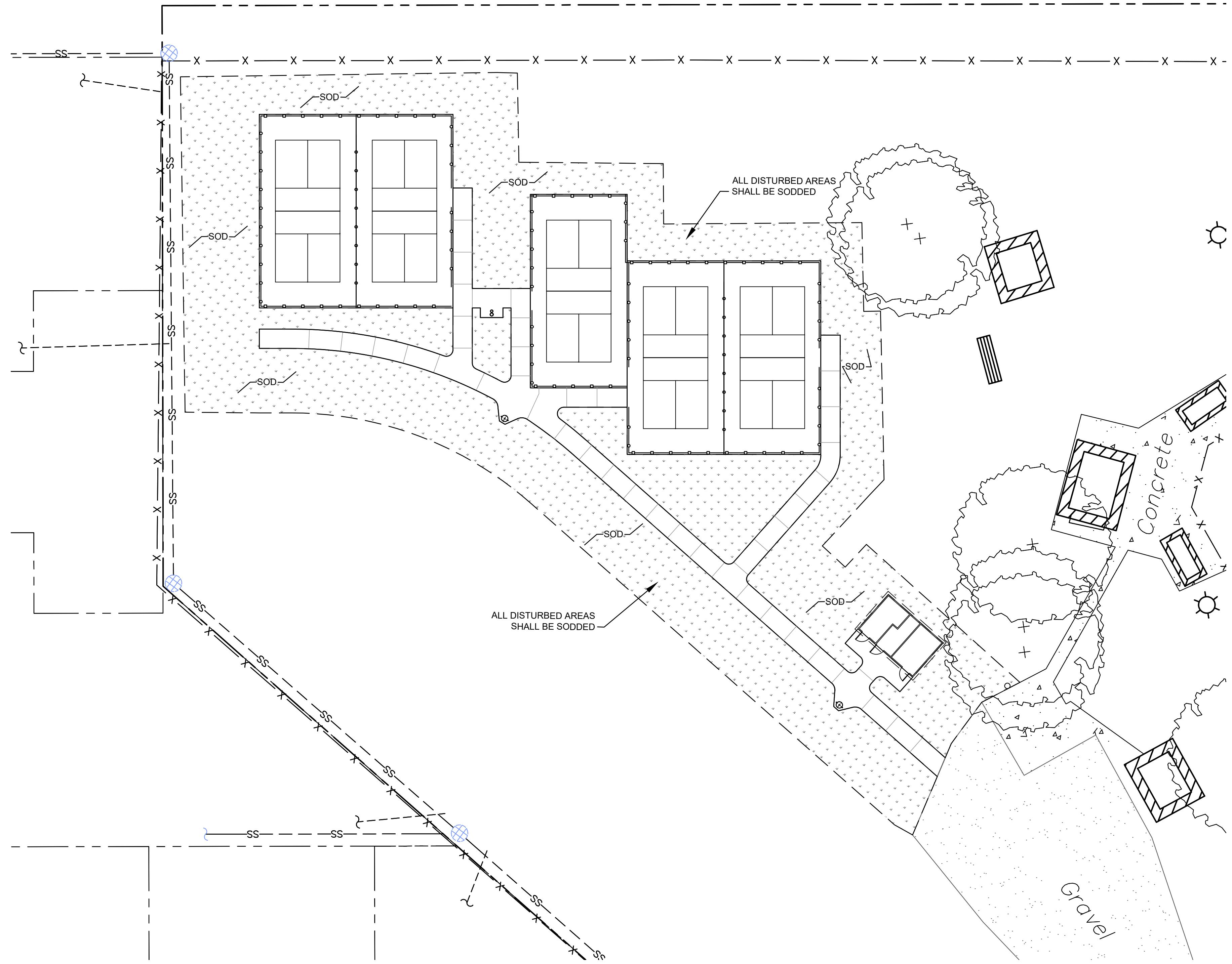


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L-4.0

Z:\2024\24-1442\LANDSCAPE\DESIGN\24-1442 L-6 EROSION CONTROL AND SEDIMENTATION PLAN.DWG



PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	MAT
GROUND COVERS					
[Symbol]	ERE OPH	16,303 sf	Centpede Sod	Eremochloa ophiuroides	Sod

LANDSCAPE PLANTING NOTES:

- Contractor shall bear full responsibility in verifying locations of existing site utilities and shall be responsible for any damage to said utilities during construction.
- The contractor shall be responsible in determining quantities that meet the design intent.
- Existing trees, shrubs, and sod not designed for removal shall be replaced if damaged during construction.
- Remove waste materials, including grass, vegetation, and turf, and legally dispose of it off of Owner's property.
- Totally grub areas to receive sod by chemically eradicating emerging vegetation, removing existing vegetation after vegetation is dead, then proceeding with proper sod installation in accordance with the Planting Plan. Remove roots, plants, sods, stones, clay lumps, and other extraneous materials harmful to plant growth.
- Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod; DO NOT OVERLAP OR STRETCH. Stagger sod strips or pads to offset joints in adjacent courses. Avoid damage to subgrade or sod during installation. Tamp and roll lightly to ensure contact with subgrade, eliminate air pockets, and form a smooth surface.
- Grade lawn and grass areas to a smooth, even surface with loose, uniformly fine texture. Roll and rake, remove ridges, and fill in depressions to meet finish grades and ensure positive drainage.
- Contractor shall ensure positive drainage away from buildings for all work.
- Provide protection to all finished work until accepted by owner.
- Warranty Period:
Sod: 6 months
- Contractor is to insure that all disturbed areas on site are to be sodded. This may be areas in addition to what is indicated on the plan.

SOUTHWOOD PARK IMPROVEMENTS
 14318 PARKVIEW DRIVE
 PRAIRIEVILLE, LOUISIANA
 ASCENSION PARISH GOVERNMENT

DDG
 9015 BLUEBONNET BLVD.
 BATON ROUGE, LA 70810
 225.751.4490



10/22/24
BID SET - NOT FOR CONSTRUCTION
 PROJECT NO. 24-1442
 ISSUED FOR BID
 10/22/2024

CHECKED BY: MLP
 DRAWN BY: KAH

SHEET
L-5.0

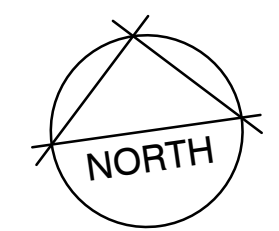
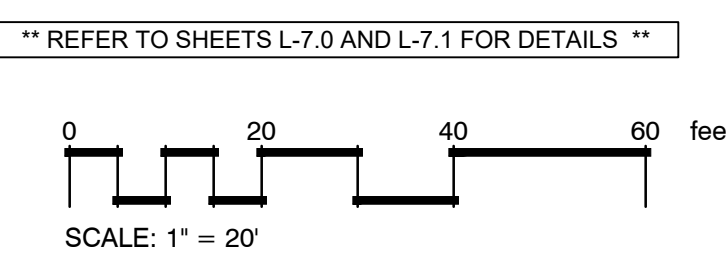
Z:\2024\24-1442\LANDSCAPE\DESIGN\24-1442 L-8 LANDSCAPE PLANTING PLAN.DWG

CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXCAVATING NEAR EXISTING UNDERGROUND & OVERHEAD UTILITIES

CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING TURF IN ANY DISTURBED AREAS NOT SHOWN ON PLAN

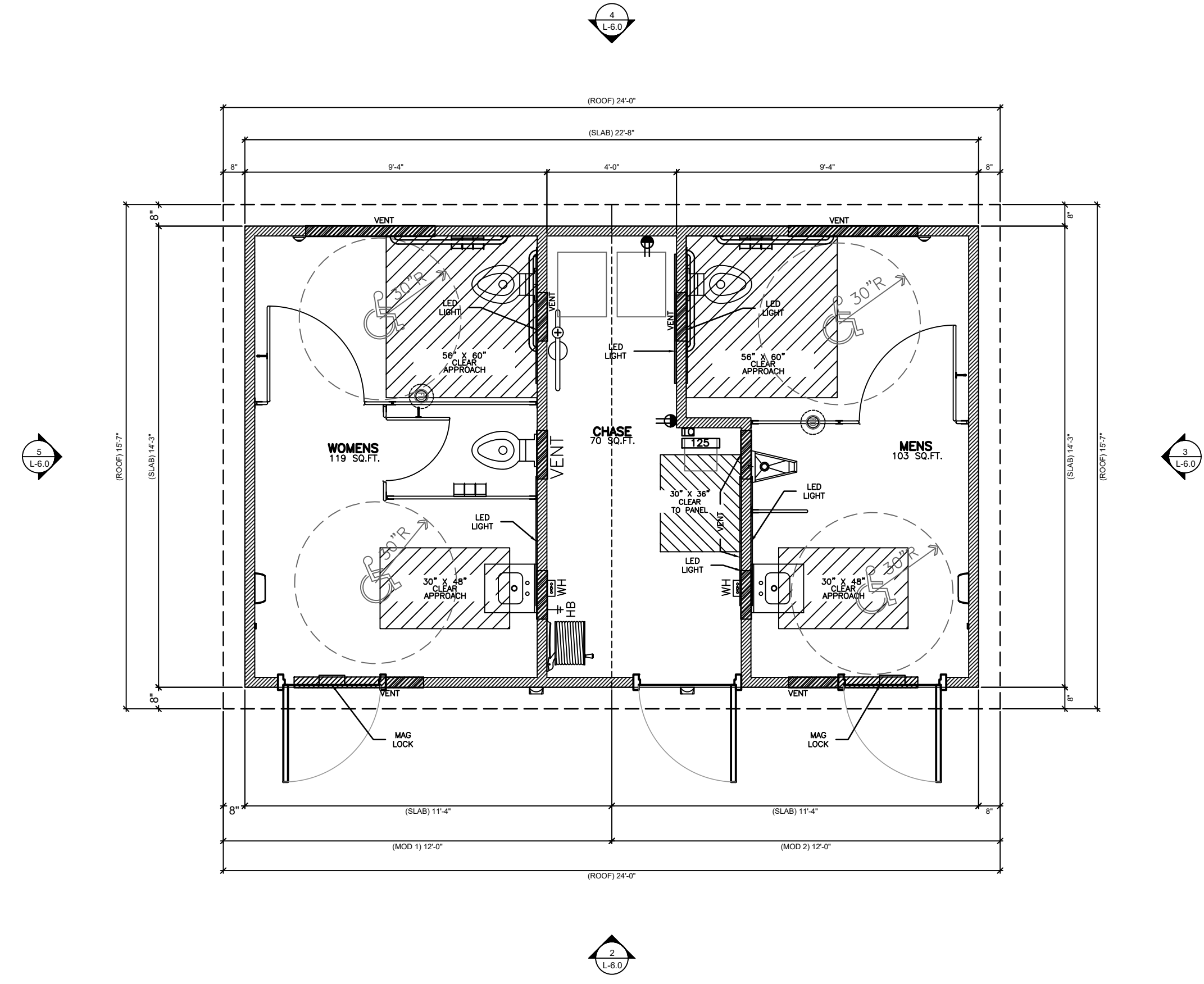
QUANTITY TAKE-OFFS ARE PROVIDED FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.

EXISTING LEGEND	
[Symbol]	MAIL BOX
[Symbol]	POWER POLE
[Symbol]	TELEPHONE PEDESTAL
[Symbol]	SERVICE POLE
[Symbol]	WATER VALVE
[Symbol]	DROP INLET
[Symbol]	FIRE HYDRANT
[Symbol]	GUY WIRE
[Symbol]	OVERHEAD ELECTRIC
[Symbol]	GAS LINE
[Symbol]	TELEPHONE LINE
[Symbol]	WATER LINE
[Symbol]	F.I.R. FOUND 1/2" IRON ROD
[Symbol]	S.I.R. SET 1/2" IRON ROD
[Symbol]	EXISTING TREE

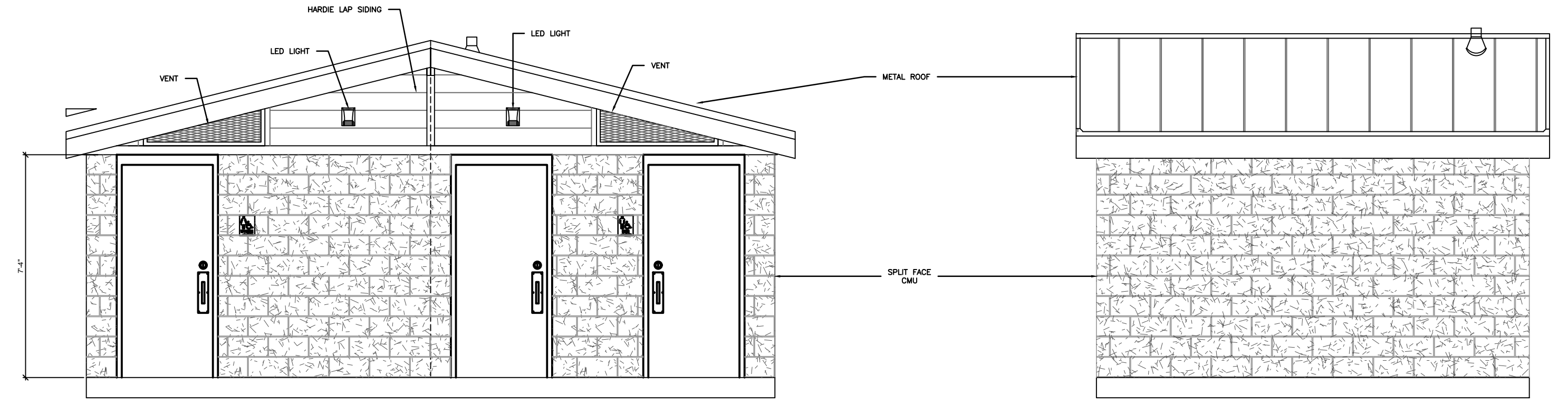


LANDSCAPE PLANTING PLAN

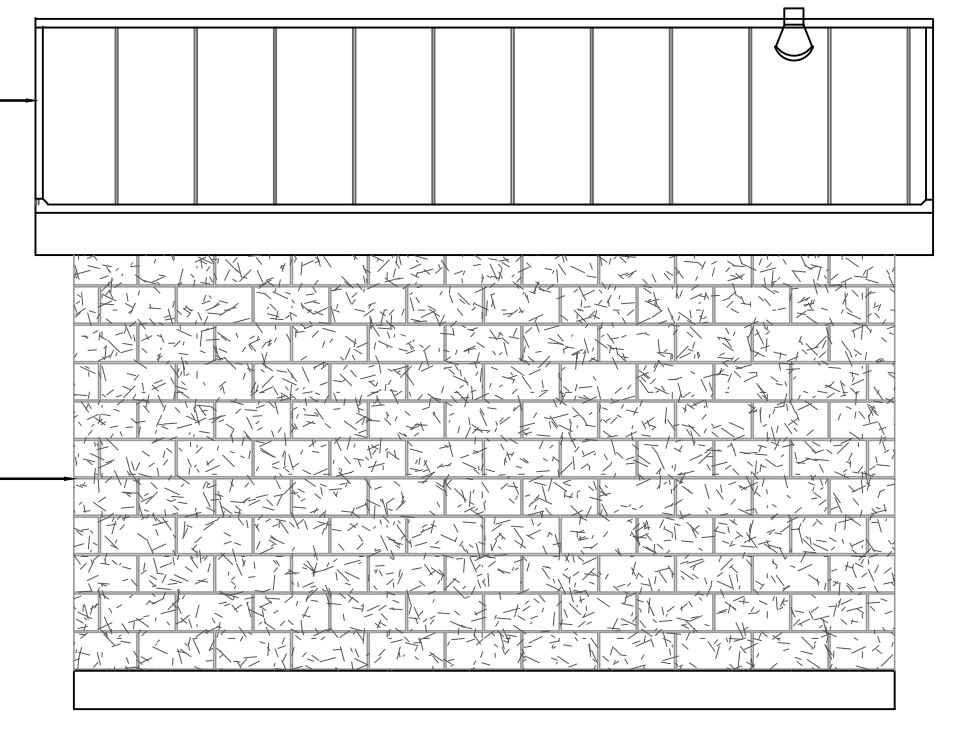
FOR INFORMATIONAL AND GRAPHIC PURPOSES ONLY
 CONTRACTOR SHALL PROVIDE SEALED SHOP DRAWINGS
 AND SECURE ALL PERMITS AND APPROVALS FOR STRUCTURE



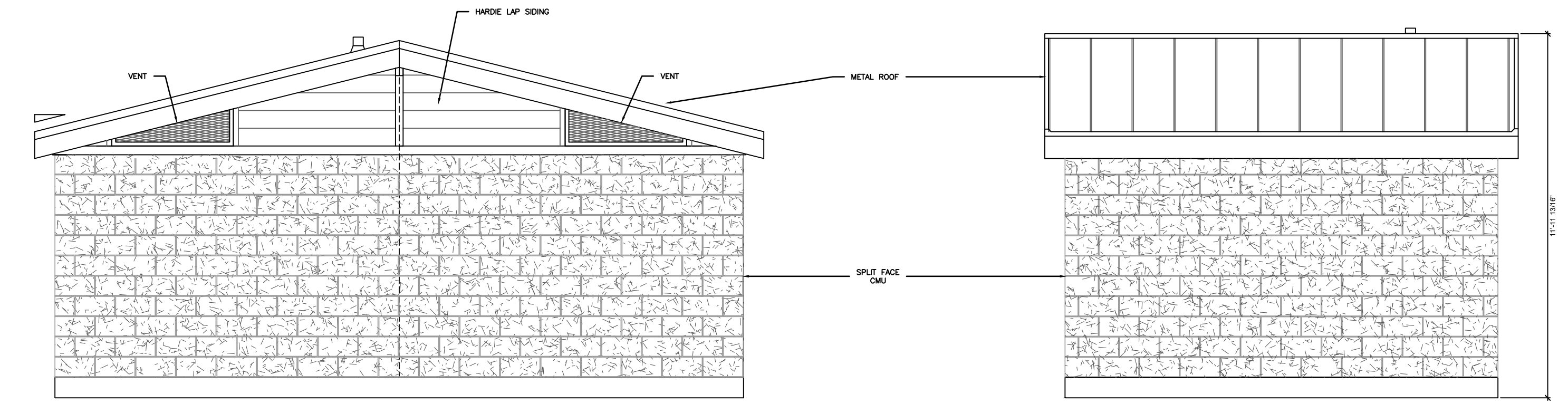
1 PRE-ENGINEERED RESTROOM - FLOOR PLAN
 N.T.S.



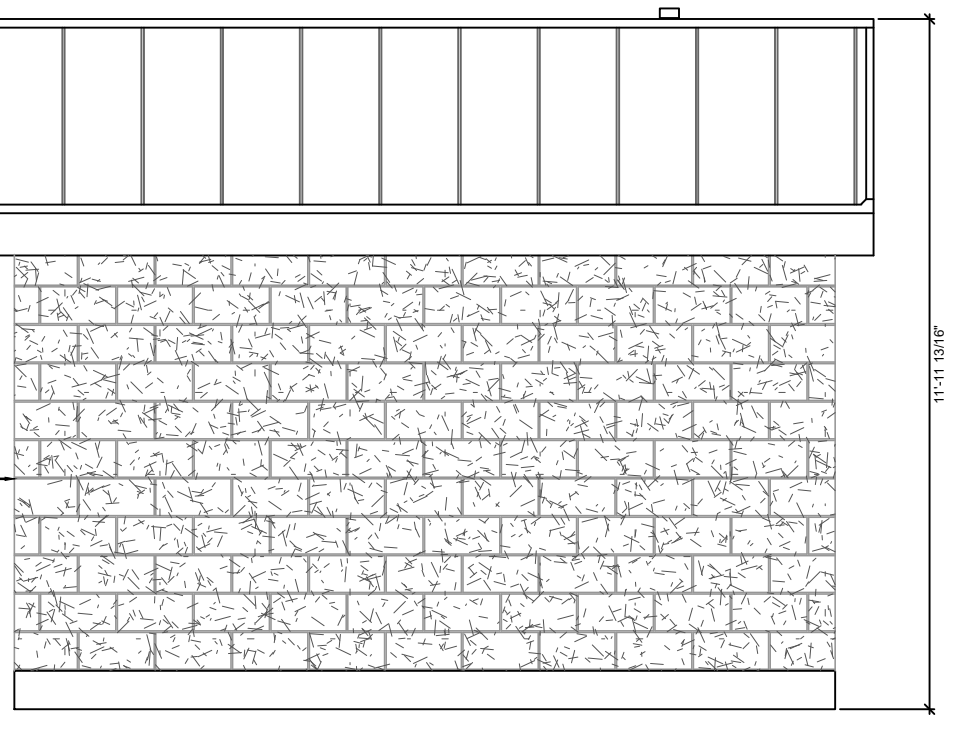
2 PRE-ENGINEERED RESTROOM - FRONT ELEVATION
 N.T.S.



3 PRE-ENGINEERED RESTROOM - LEFT SIDE ELEVATION
 N.T.S.



4 PRE-ENGINEERED RESTROOM - FRONT ELEVATION
 N.T.S.



5 PRE-ENGINEERED RESTROOM - RIGHT SIDE ELEVATION
 N.T.S.

BUILDING BASIS OF DESIGN

PRODUCT: CORWORTH RESTROOM FACILITIES
PRODUCT NUMBER: B312
CONTACT: BRIAN CRAFT
 1-512-222-5454
 WWW.CORWORTH.COM

- NOTE:**
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 2. CONTRACTOR SHALL PROVIDE STAMPED SHOP DRAWINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
 3. CONTRACTOR MAY SUBMIT ALTERNATIVE VENDORS TO BE CONSIDERED AS ACCEPTED SUBSTITUTE.
 4. CONTRACTOR RESPONSIBLE FOR SECURING STATE FIRE MARSHALL APPROVALS AND PARISH BUILDING PERMITS FOR STRUCTURE.
 5. CONTRACTOR SHALL COORDINATE AND SECURE ALL UTILITY CONNECTIONS FOR STRUCTURE.

NOTES

1. BUILDING TO BE CONSTRUCTED OFFSITE AND CRANED INTO PLACE.
2. MINIMUM 10" OF NATIVE SOIL & ORGANICS TO BE REMOVED FROM RESTROOM SITE.
3. CONTRACTOR TO CONSTRUCT BUILDING PAD TO 95% COMPACTION.
4. CONTRACTOR SHALL BRING WATER AND ELECTRIC CONNECTIONS WITHIN 5' OF RESTROOM BUILDING PAD PRIOR TO RESTROOM DELIVERY.
5. ON DELIVERY OF RESTROOM, CONTRACTOR TO MAKE FINAL UTILITY CONNECTIONS TO FACILITY PRIOR TO RESTROOM BUILDING VENDOR DEMOB.
6. RESTROOM BUILDING TO HAVE AN 8" REINFORCED CONCRETE SLAB ATTACHED TO BUILDING ON ARRIVAL.

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 ASCENSION PARISH GOVERNMENT

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 SHEET

**PRE-ENGINEERED RESTROOM
 BUILDING AND ELEVATIONS**

L-6.0

Z:\2024\24-1442\LANDSCAPE\DESIGN\24-1442 L-7 PRE-ENGINEERED RESTROOM BUILDING AND ELEVATIONS.DWG



SOUTHWOOD PARK IMPROVEMENTS
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9015 BLUEBONNET BLVD.
 BATON ROUGE, LA 70810
 225.751.4490



Michael L. Petty
 10/22/24

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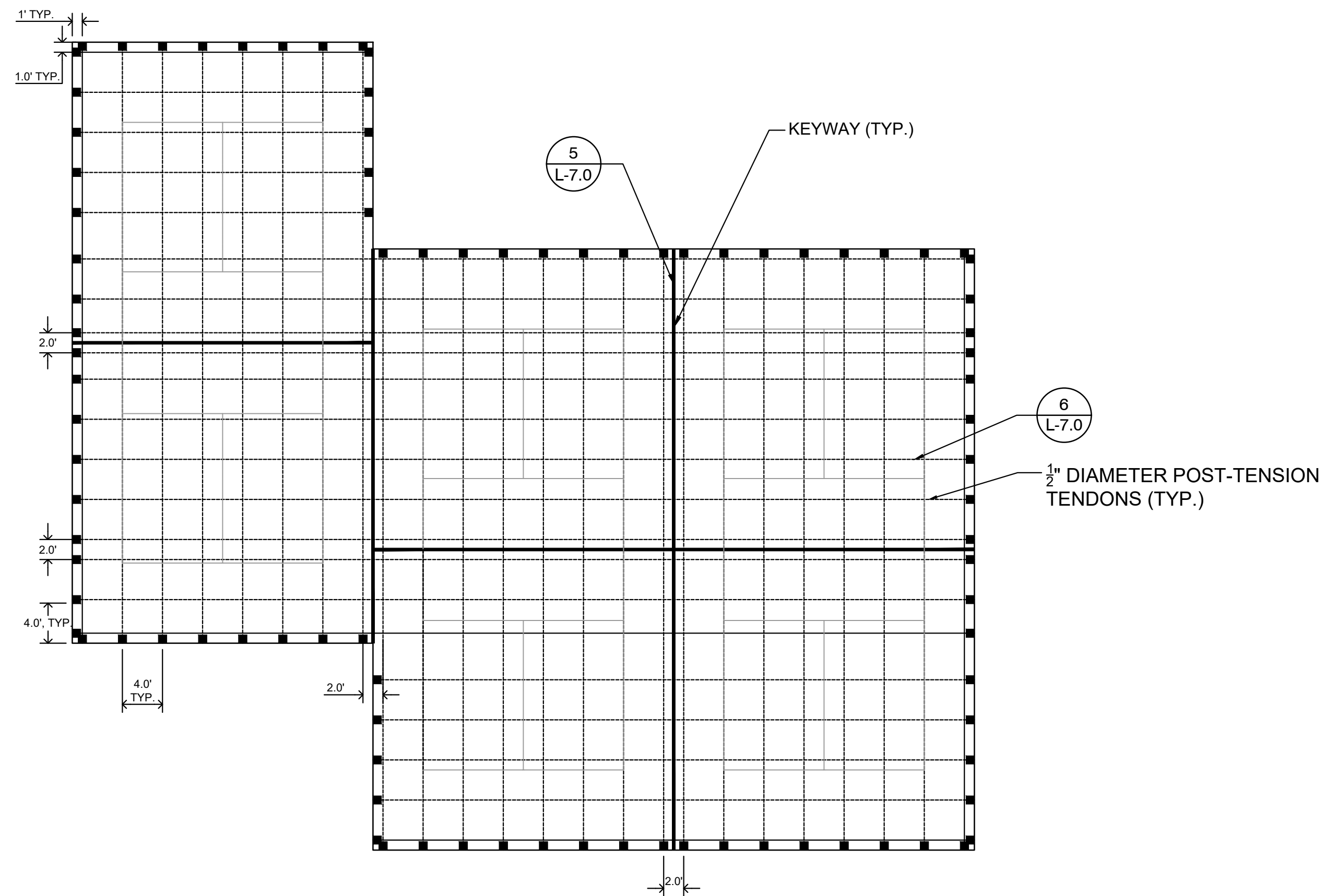
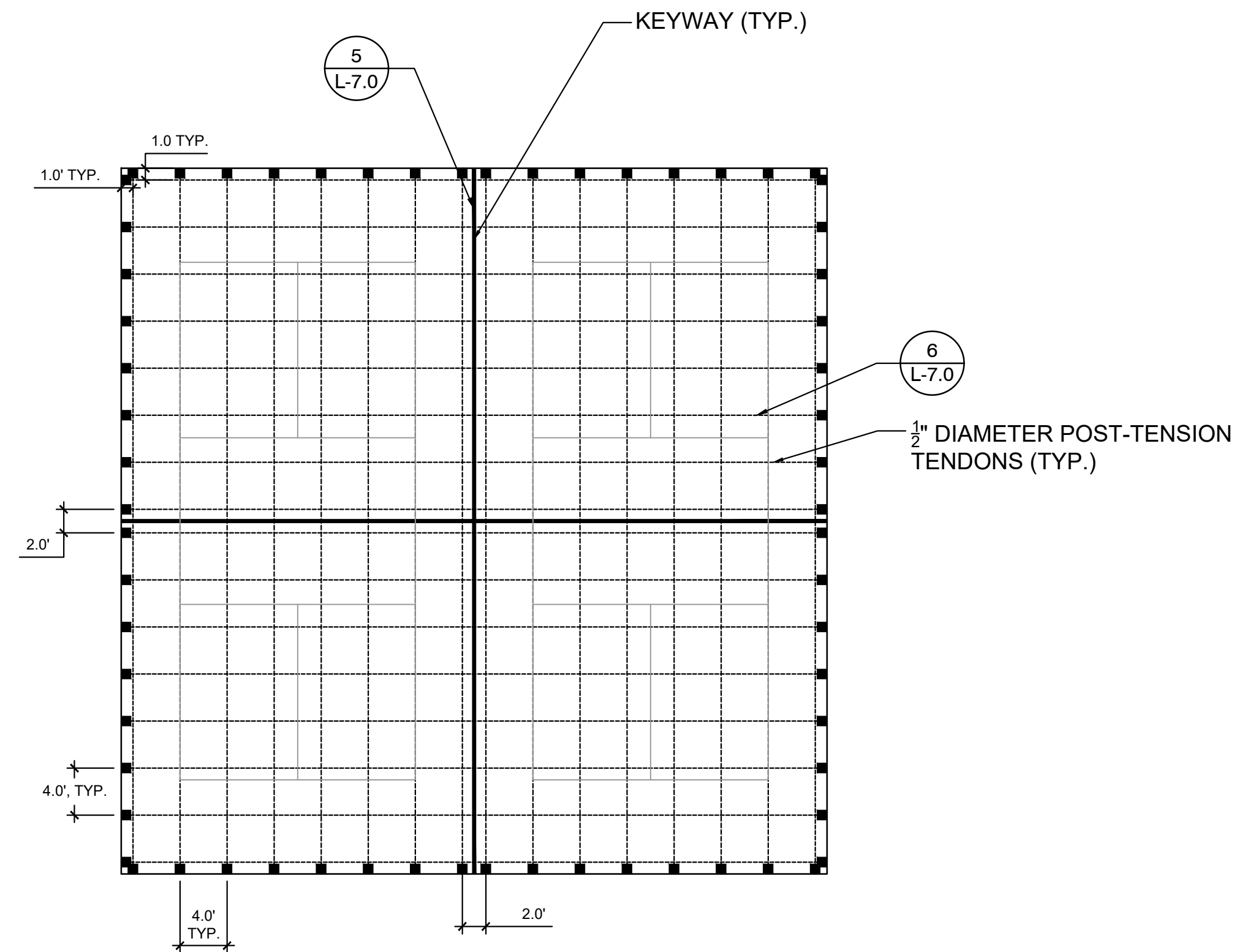
PROJECT NO. 24-1442

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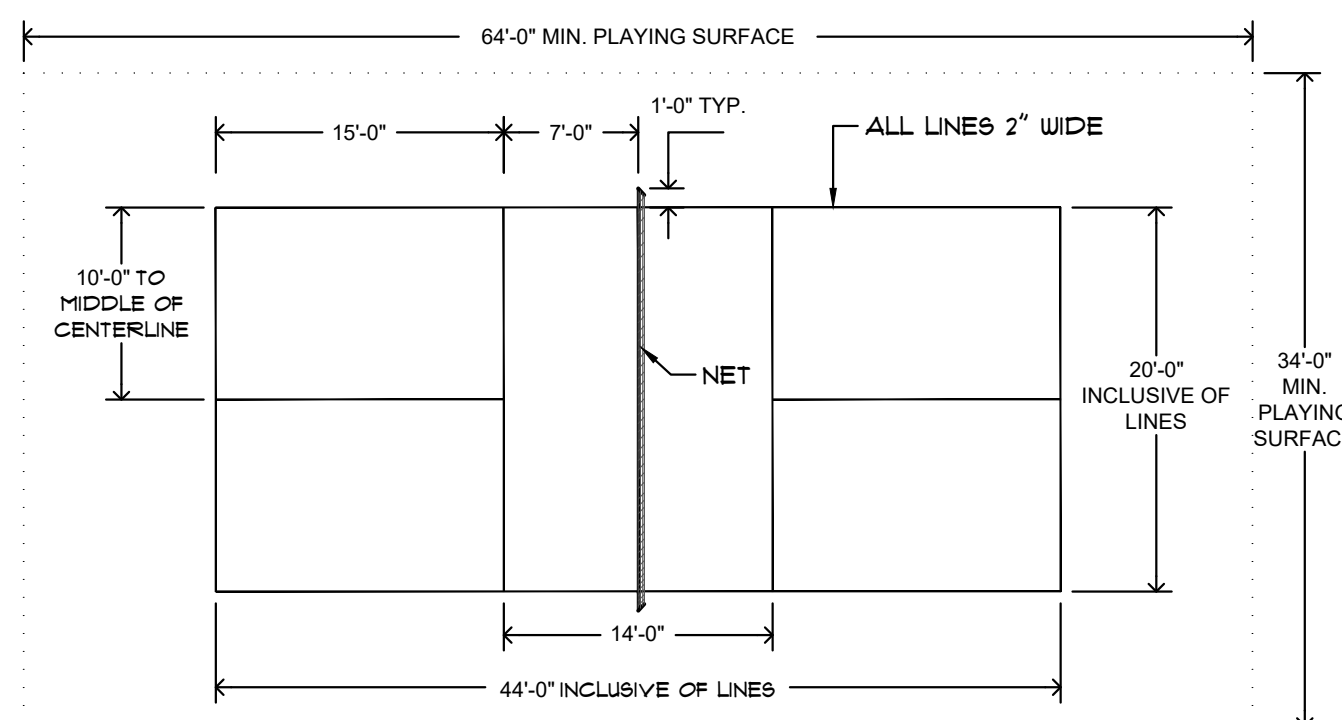


1 COURT 1, 2 TENDON LAYOUT

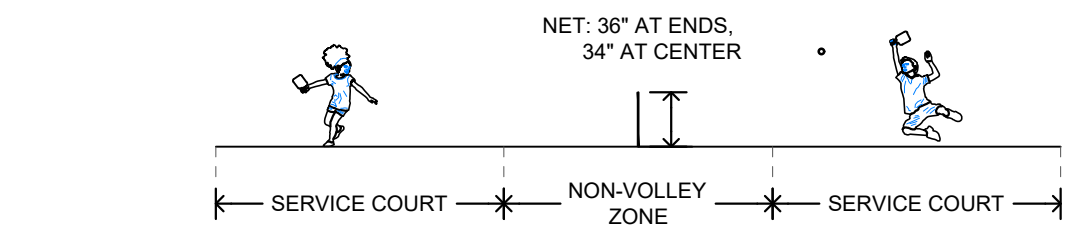
132803-11

2 COURT 3, 4, 5 TENDON LAYOUT

132803-12



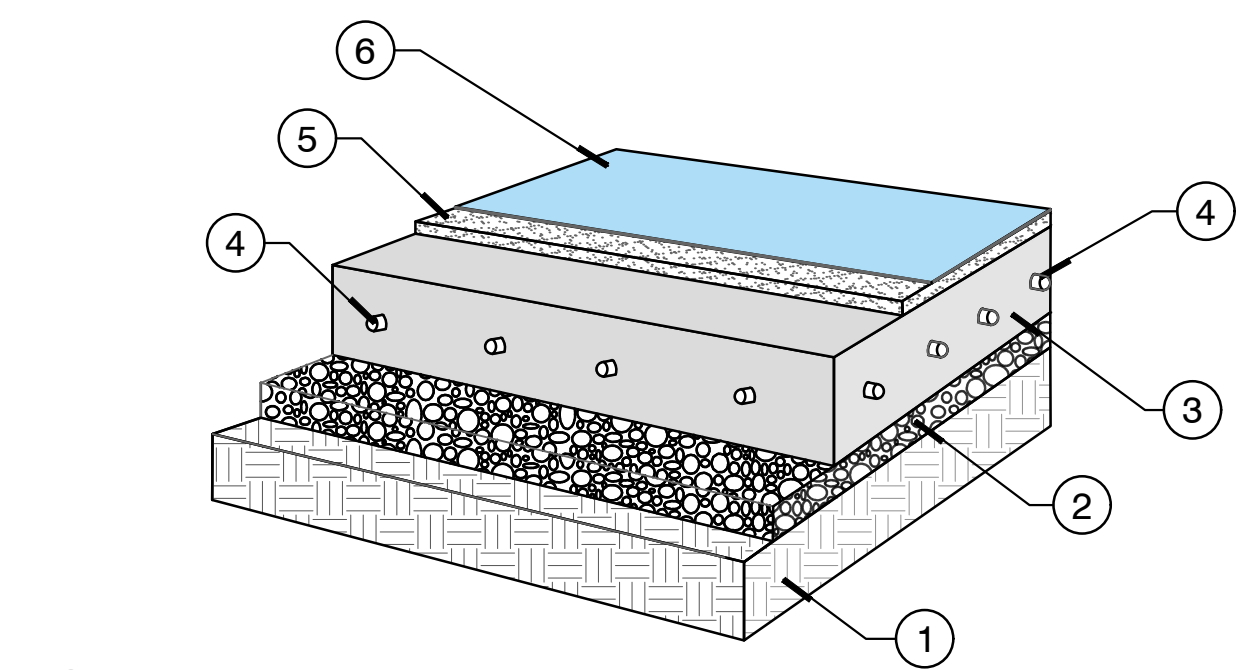
PLAN



SECTION

3 PICKLEBALL COURT DIMENSIONS

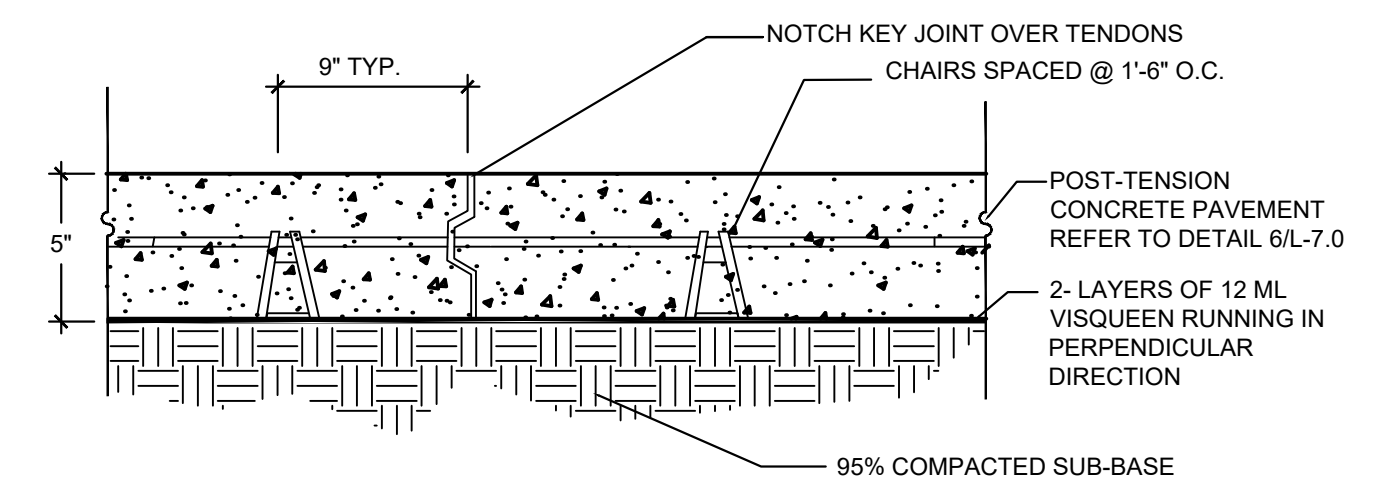
132803-01



- ① COMPACTED SUBGRADE
- ② 6" MIN. #57 LIMESTONE AGGREGATE LEVELING COURSE
- ③ 5" MIN. 4000 PSI CONCRETE SLAB
- ④ POST TENSION CABLES
- ⑤ CUSHION LAYER, SEE SPECS
- ⑥ ACRYLIC SURFACING, SEE SPECS

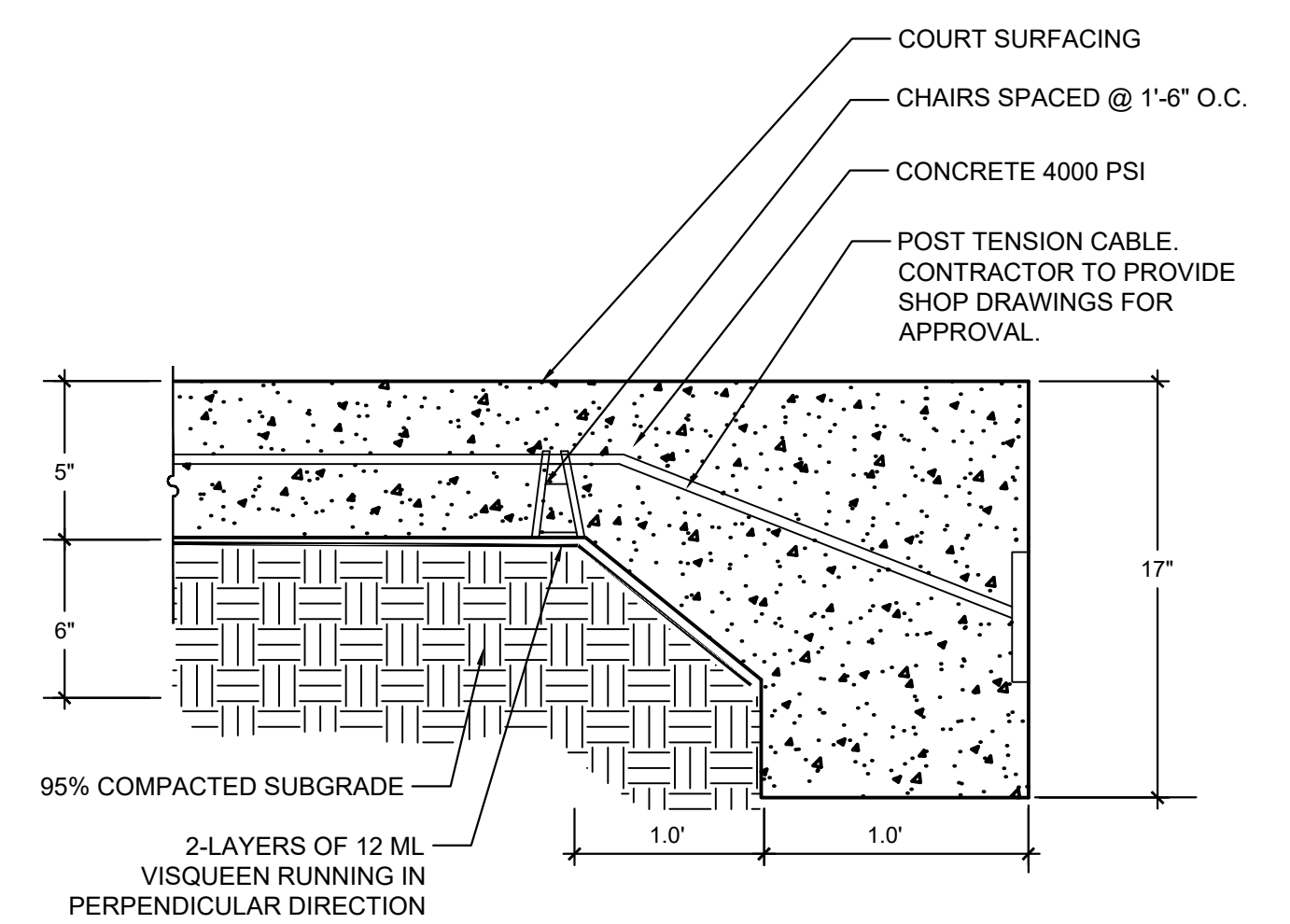
4 PICKLEBALL COURT SURFACING

132803-15



5 KEY JOINT SECTION FOR POST TENSION CONCRETE

132803-09



6 POST TENSION CONCRETE PAVEMENT

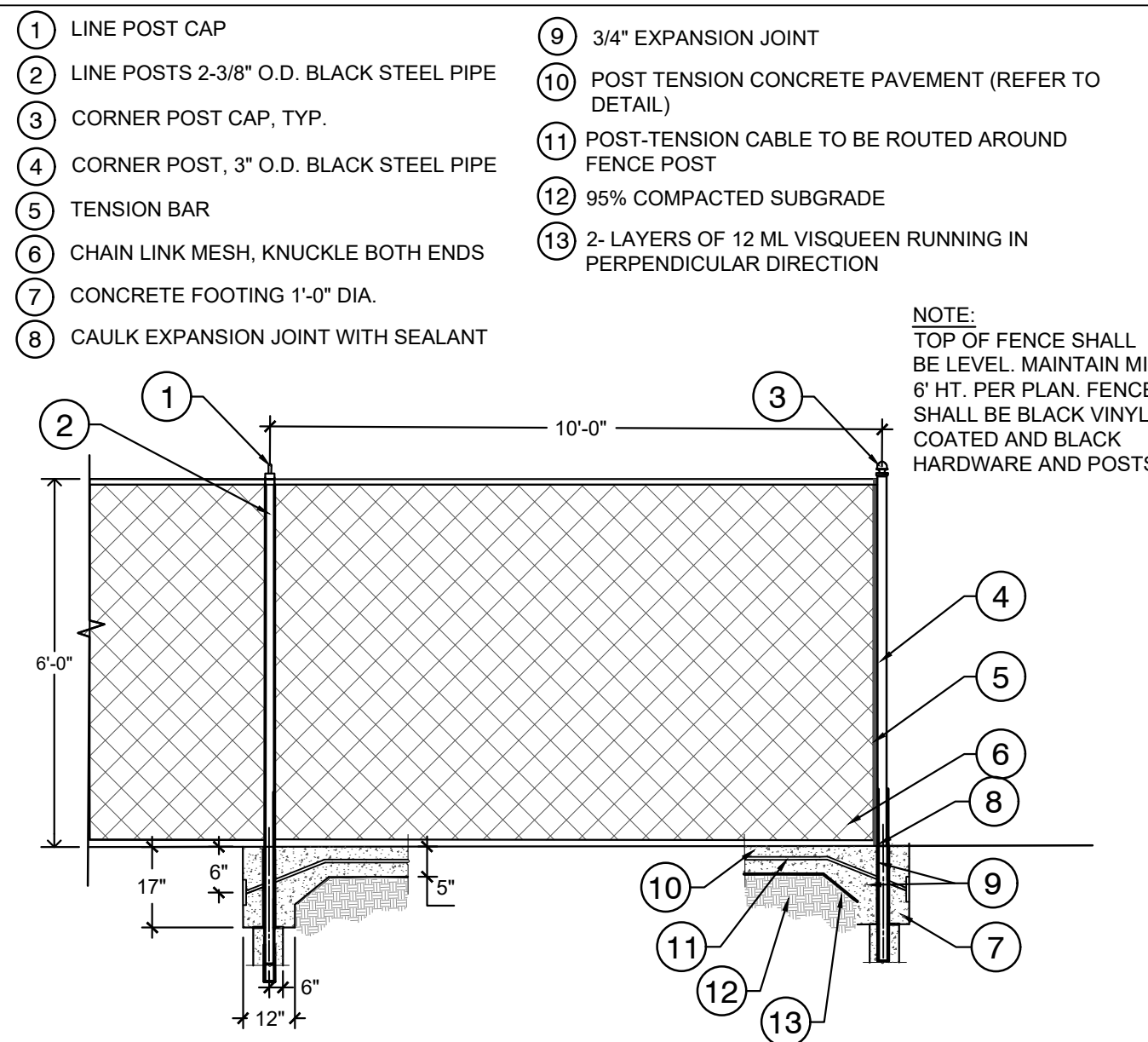
132803-10

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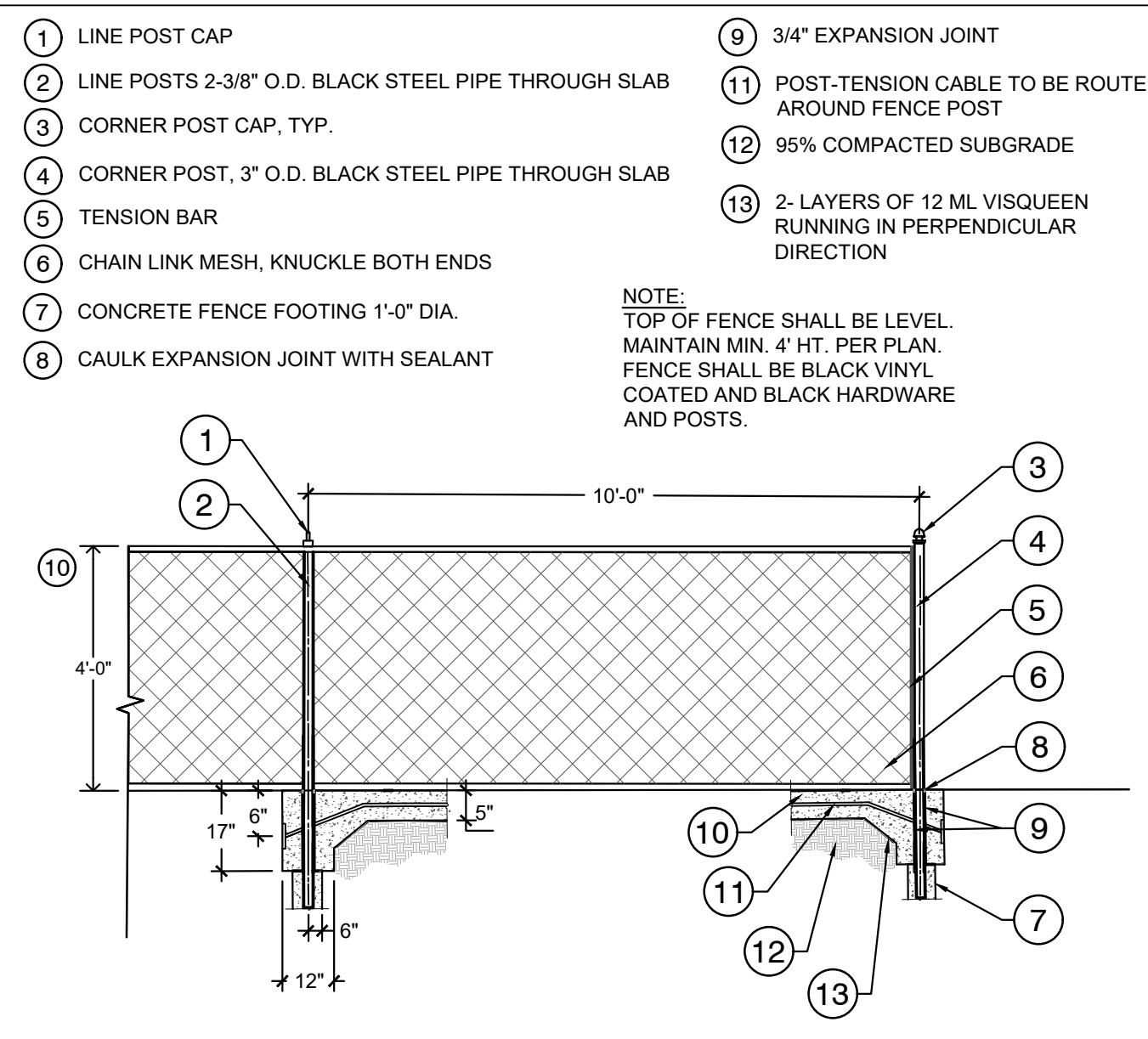
**SITE IMPROVEMENT
 DETAILS**

LA one call
 CALL LOUISIANA ONE CALL - 1-800-272-3020
 LOUISIANA STATE LAW, SECTION R.S.40:1749.15, REQUIRES EXCAVATORS & DEMOLISHERS TO NOTIFY A REGIONAL NOTIFICATION CENTER BY TELEPHONE 48 HOURS IN ADVANCE OF ANY EXCAVATION OR DEMOLITION ACTIVITY. THE OWNERS/OPERATORS OF ANY UNDERGROUND FACILITY MUST THEN MARK THE AREA OR PROVIDE INFORMATION THAT WILL ENABLE AN EXCAVATOR OR DEMOLISHER TO DETERMINE THE LOCATION OF UNDERGROUND FACILITIES.

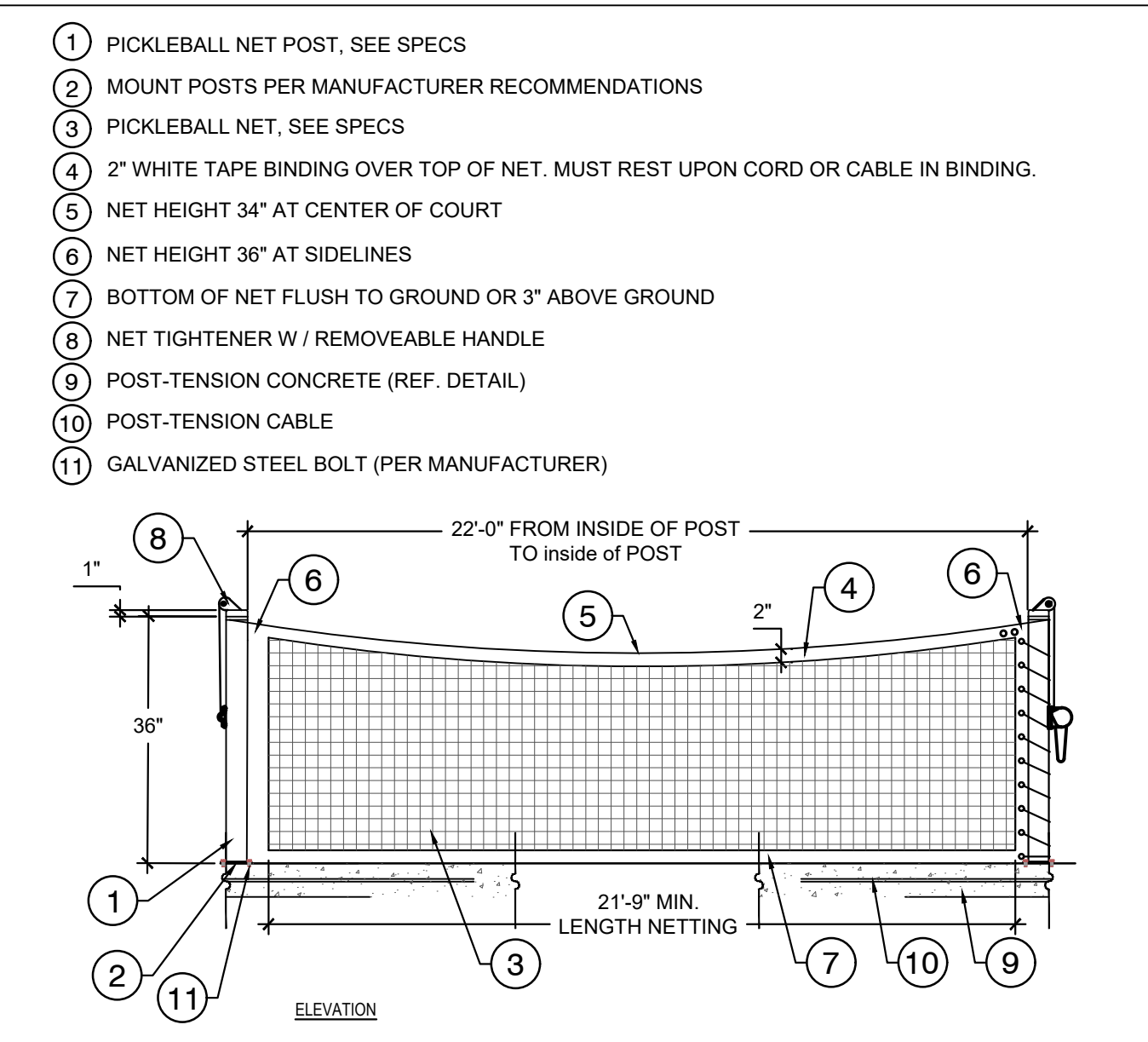
Z:\2024\24-1442\LANDSCAPE\DESIGN\24-1442 L-9 SITE IMPROVEMENT DETAILS.DWG



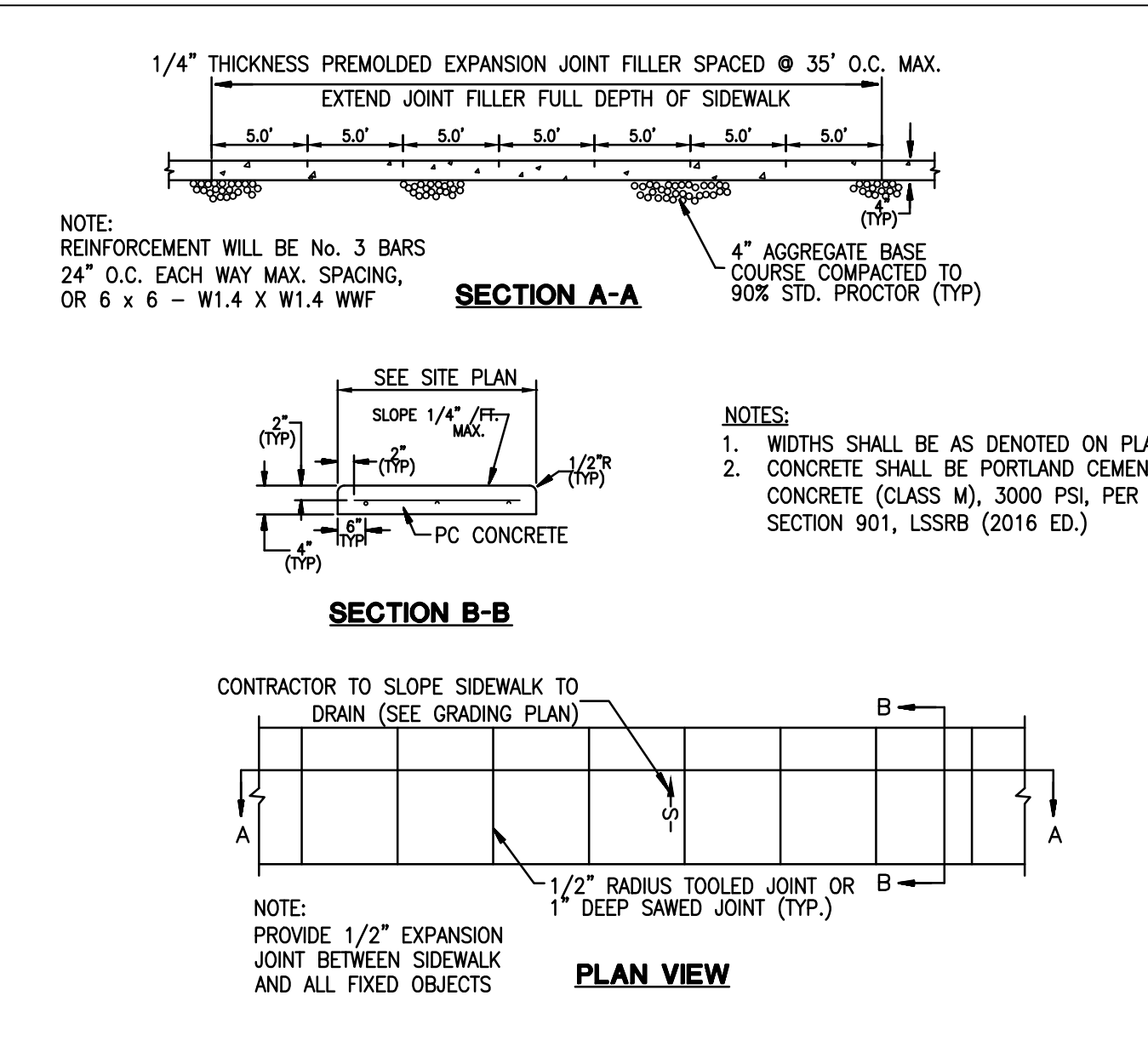
1 6'-0" VINYL-COATED CHAIN LINK FENCE FOR POST-TENSION CONCRETE
N.T.S. 116833.23-11



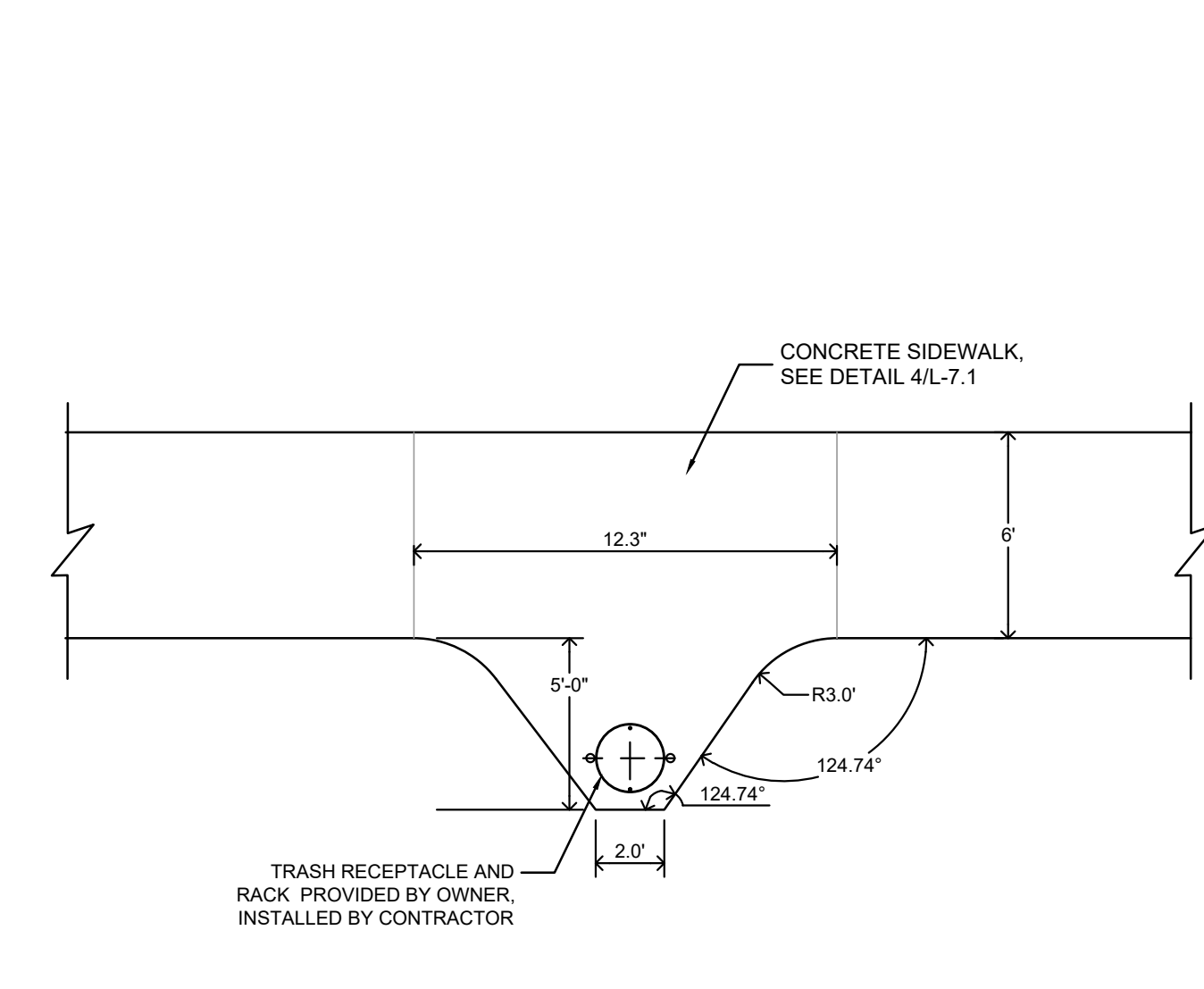
2 4'-0" VINYL COATED CHAIN LINK FENCE FOR POST-TENSION CONCRETE
N.T.S. 132803-13



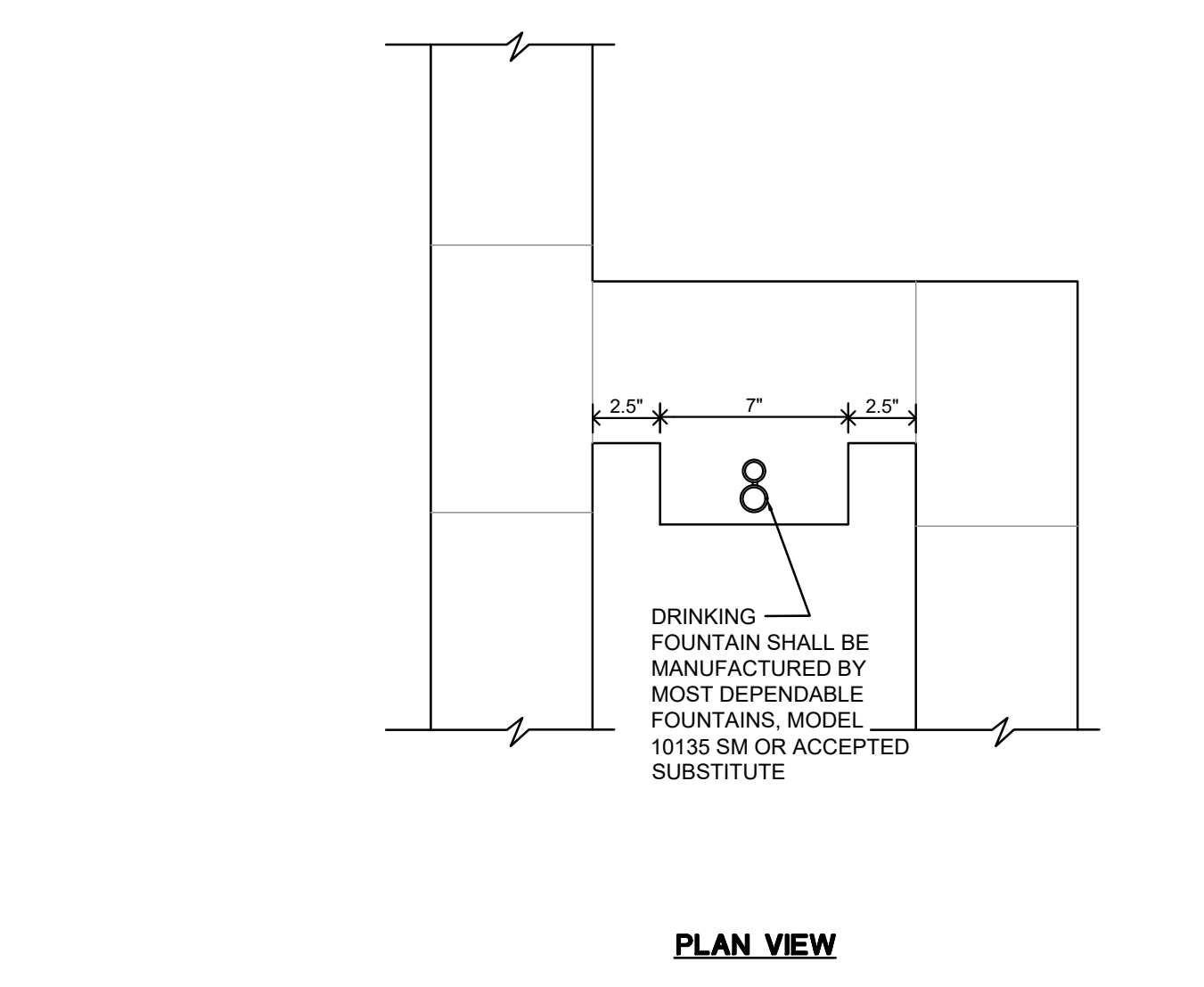
3 PICKLEBALL POSTS AND NET FOR POST-TENSION CONCRETE
1/2" = 1'-0" 132803-14



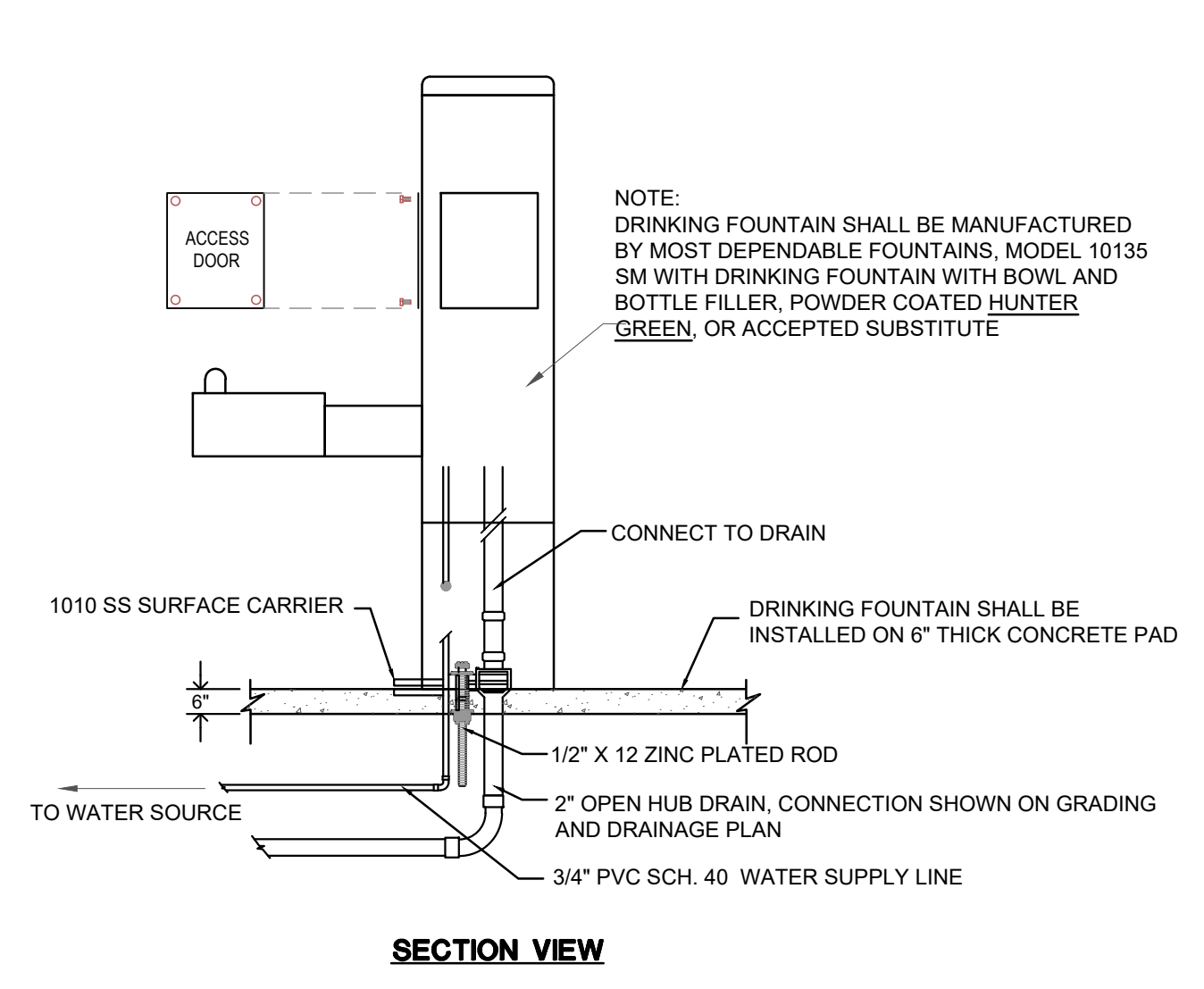
4 CONCRETE SIDEWALK
N.T.S. 321313.13-77



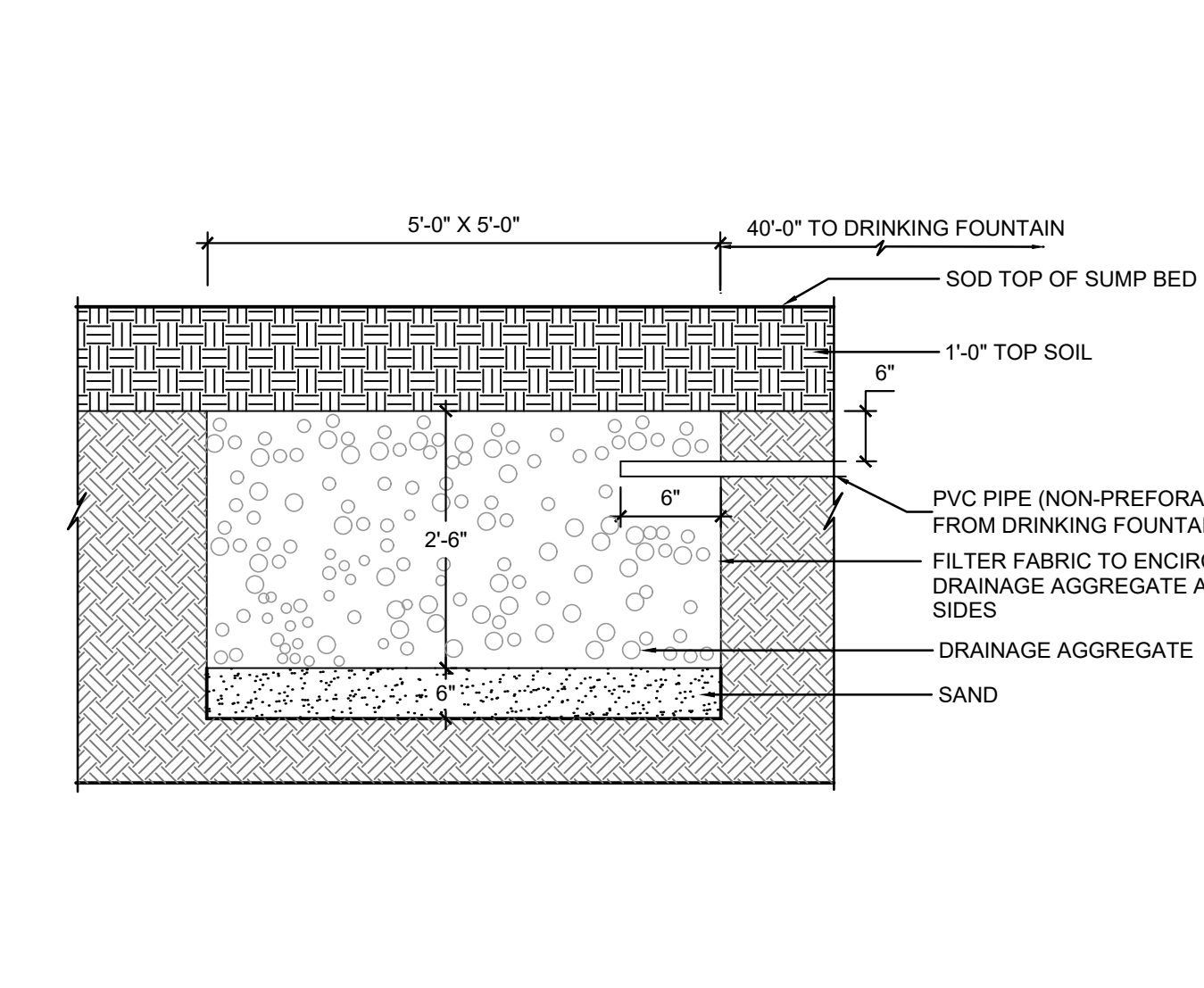
5 TRASH RECEPTACLE AND PAD
N.T.S. 129323-28



6 DRINKING FOUNTAIN AND PAD
3/4" = 1'-0" 224719-06



7 DRAIN SUMP BED
N.T.S. 224719-07



7 DRAIN SUMP BED
N.T.S. 224719-07

SOUTHWOOD PARK IMPROVEMENTS
14318 PARKVIEW DRIVE
PRAIRIEVILLE, LOUISIANA
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SHEET
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