

GENERAL NOTES

1. CONTRACTORS SHALL PERFORM ALL WORK AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE IN COMPLIANCE WITH THE NFPA LIFE SAFETY CODE 101 2012 ADDITION, INTERNATIONAL BUILDING CODE 2012, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, RECOGNIZED INDUSTRY STANDARD, CRAFTSMAN STANDARDS IN THE AREA, ALL MANUFACTURER'S RECOMMENDATIONS, AND ALL OTHER APPLICABLE CODES.

2. BEFORE SUBMITTING PROPOSALS FOR HIS WORK, EACH BIDDER SHALL BE HELD TO HAVE EXAMINED THE ENTIRE SITE AND PREMISES AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE OR THAT IN ANY MANNER WILL AFFECT THE WORK UNDER THE CONTRACT. NO ALLOWANCE SHALL BE MADE SUBSEQUENTLY IN THE BEHALF OF ANY BIDDER FOR ANY ERROR OR NEGLIGENCE RESULTING FROM HIS FAILURE TO VISIT THE SITE AND APPRISE HIMSELF OF ALL CONDITIONS.

3. THE ARCHITECT DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS, PROGRAMS IN CONNECTION WITH ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

4. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. IMMEDIATELY NOTIFY ARCHITECTS OF ANY DISCREPANCIES BETWEEN THESE CONTRACT DOCUMENTS AND ANY EXISTING CONDITIONS.

5. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNALLED REFLECTORS, LIGHTS, ETC. DURING CONSTRUCTION. PROPERLY DEMARCATED AREAS CLOSED TO THE PUBLIC.

6. THE CONTRACTOR WILL REMOVE ALL RUBBLE AND DEBRIS FROM THE JOB SITE AND LEAVE THE BUILDING AND GROUNDS BROOM CLEAN UPON COMPLETION OF THE WORK.

7. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND COORDINATION OF ALL CONDUIT, PIPING AND DUCTION WITH THE VARIOUS TRADES.

8. THE CONTRACTOR SHALL AT ALL TIMES INFORM OWNER OF UPCOMING CONSTRUCTION ACTIVITIES AND COORDINATE THOSE ACTIVITIES WITH THOSE OF THE OWNER TO INSURE NON-INTERRUPTION OF THE OWNERS ACTIVITIES.

9. THE SHOWN SITE PLAN HAS BEEN DEVELOPED BY THE ARCHITECT FROM INFORMATION PROVIDED BY THE OWNER. THE ARCHITECT HAS ENDEAVORED TO VERIFY THE PRESENTED CONDITIONS, HOWEVER, THE ARCHITECT EXPRESSLY CLAIMS NO RESPONSIBILITY FOR THE ACCURACY OR CORRECTNESS OF THE PRESENTED ACTUAL CONDITIONS. CERTAIN PORTIONS OF THE ACTUAL CONDITIONS MAY VARY FROM THE SHOWN SITE PLAN.

10. NO ALLOWANCE, INCREASE, OR ADDITIONAL CHARGES WILL BE CONSIDERED FOR ANY UNFORESSEEN VERIFIED OR NON-VERIFIED CONDITIONS ASSOCIATED WITH THE CONTRACT. THE CONTRACTOR SHALL THOROUGHLY INVESTIGATE THE EXISTING CONDITIONS PRIOR TO BIDDING AND SHALL MAKE NO CLAIM FOR ADDITIONAL CHARGES.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BUILDING THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS UNLESS HE RECEIVES A WRITTEN NOTIFICATION FROM THE ARCHITECT TO THE CONTRARY.

12. THE CONTRACTOR(S) SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS.

13. PLANS AND DETAILS SKETCHES ARE SUBMITTED TO LIMIT, EXPLAIN AND DEFINE CONDITIONS, SPECIFIED REQUIREMENTS AND MANNER OF ERRECTING WORK. STRUCTURAL OR OTHER CONDITIONS MAY REQUIRE CERTAIN MODIFICATIONS FROM THE MANNER OF INSTALLATION SHOWN, AND SUCH DEVIATIONS ARE PERMISSIBLE AND SHALL BE MADE AS REQUIRED, BUT, SPECIFIED SIZES AND REQUIREMENTS NECESSARY FOR SATISFACTORY OPERATION SHALL REMAIN UNCHANGED. IT MAY BE NECESSARY TO SHIFT PIPES AND THESE CHANGES SHALL BE MADE AS REQUIRED. ALL SUCH CHANGES SHALL BE REFERRED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING.

14. WHENEVER THERE ARE DISCREPANCIES BETWEEN THE DRAWINGS, OR THE DRAWINGS AND SPECIFICATIONS, THE GENERAL CONTRACTOR SHALL ESTIMATE UPON THE BETTER QUALITY OR GREATER QUANTITY OF MATERIAL OF WORK CALLED FOR, AND IT SHALL BE SO FURNISHED UNLESS OTHERWISE ORDERED IN WRITING.

15. ALL MATERIAL AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS AND AGENCIES.

16. CONTRACTOR SHALL PROVIDE PUBLIC PROTECTIONS NECESSARY PER ALL CODE REQUIREMENTS.

17. PROVIDE GALVANIZED INSULATION BETWEEN ALL DISSIMILAR METALS.

18. VERIFY LOCATIONS OF ALL CEILING ACCESS PANELS WITH MECHANICAL, PLUMBING AND ELECTRICAL SECTIONS.

19. INSULATION FOR PIPES AND DUCTS, INCLUDING ADHESIVES SHALL BE NON-COMBUSTIBLE AND UL LISTED. ALL FILTERS SHALL BE UL - CLASS 1.

20. TRASH SHALL BE REMOVED FROM THE AREA NO LESS THAN WEEKLY.

21. WORK INDICATED AS "NOT IN CONTRACT", "N.I.C." OR "BY OTHERS" SHALL BE COORDINATED ON SITE BY THE GENERAL CONTRACTOR. INCIDENTAL WORK TO PROVIDE A FINISHED PRODUCT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING WORK BY OTHER CONTRACTORS AND CLEAN-UP.

22. GENERAL CONTRACTOR TO PROVIDE REQUIRED BLOCKING IN WALL FOR CABINETS, SHELVING, MIRRORS, HANDRAILS, GRAB BARS AS WELL AS ANY OTHER WALL MOUNTED ATTACHMENTS. BLOCKING SHALL BE METAL STUDS OR FIRE TREATED WOOD.

23. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", TAPE AND FLOAT ALL GYPSUM SURFACES TO 8" ABOVE CEILING ABOVE THAT POINT, JOINTS NEED ONLY BE TAPED. REFER TO ROOM FINISH SCHEDULE FOR LOCATION OF GYPSUM SURFACES TO BE FINISHED. SEE IBC CHAPTER 25 FOR PROVISIONS.

24. WALLS THAT ARE REQUIRED TO HAVE A FIRE RESISTANCE SHALL BE CONSTRUCTED TO BE CONTINUOUS TO MAINTAIN THE WALL INTEGRITY THROUGHOUT. WALLS WHICH ARE NOT REQUIRED TO HAVE A FIRE RESISTANCE AND INTERSECT AT REQUIRED RATED FIRE WALLS SHALL BE CONSTRUCTED TO ALLOW THE FIRE RATED WALL TO BE CONTINUOUS.

25. AT FIRE RATED ASSEMBLIES EXTEND WALLS TO UNDERSIDE OF ROOF DECK AND PROVIDE UL RATED CLOSURE COMPATIBLE WITH WALL RATING.

26. ALL MATERIAL AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS AND AGENCIES.

27. MINIMUM FLAME SPREAD RATING FOR INTERIOR FINISHES TO BE PER NFPA 101, CHAPTER 10

28. EXIT DOOR LOCKS SHALL BE IN ACCORDANCE WITH NFPA 101, CHAPTER 7, 22

29. ALL STUD PARTITIONS WITH WALL MOUNTED ATTACHMENTS (CABINETS, SHELVES, ETC) SHALL BE 3-5/8" STEEL STUDS AT 16" O.C. FOR ENTIRE WALL. PROVIDE NECESSARY BLOCKING.

30. ALL GYPSUM BOARD THAT IS SCHEDULED TO BE INSTALLED IN WET AREAS IE, TOILETS, SHOWER AREAS, LOCKER ROOMS, KITCHEN ETC. TO BE OF MOISTURE RESISTANT (GREEN BOARD).

31. 1014.6.9.10 BUILDINGS OR PORTIONS OF BUILDINGS SHALL BE PERMITTED TO BE OCCUPIED DURING CONSTRUCTION, REPAIR, ALTERATIONS, OR ADDITIONS ONLY IF ALL MEANS OF EGRESS AND ALL FIRE PROTECTION FEATURES ARE IN PLACE AND CONTINUOUSLY MAINTAINED FOR THE PORTION OCCUPIED.

32. ALL GLAZING SHALL BE IN ACCORDANCE W/ IBC-2012

33. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC SECTION 2406

34. THRESHOLDS SHALL COMPLY WITH CURRENT ADA SECTION 4.02 CHANGES IN LEVEL UP TO 1/4" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1/2".

35. ALL DOOR HANDLES SHALL COMPLY WITH ADA 2010 4.13.9 BEING LEVER OPERATED UNLESS OTHERWISE SPECIFIED.

36. INTERIOR FLOOR FINISH IN CORRIDORS AND EXITS SHALL BE IN ACCORDANCE WITH 1010.2 CLASS 1

37. 1017.0.12 INTERIOR CEILING SHALL HAVE A FLAME SPREAD OF 0-75 AND A SMOKE DEVELOPMENT RATING OF 0-450.

40. INSULATION AND INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS OF SECTION 709, INTERNATIONAL BUILDING CODE, 2012 EDITION.

A. CONCEALED INSULATION SHALL HAVE A FLAME SPREAD OF 0-25 AND A SMOKE DEVELOPED OF 0-450 EXCEPT THAT IN COMBUSTIBLE (WOOD FRAME) CONSTRUCTION, FACING MAY COMPLY WITH IBC 708.2.2

B. EXPOSED INSULATION SHALL HAVE A FLAME SPREAD OF 0-25 AND A SMOKE DEVELOPED OF 0-450.

C. ROOF INSULATION SHALL COMPLY WITH IBC 2006

41. NFPA 104-9.7.4 TOP OF FIRE EXTINGUISHER, HAVING A GROSS WEIGHT LESS THAN 40 LBS, SHALL BE NOT MORE THAN 5 FEET ABOVE THE FLOOR 3-1/2 FEET IF GROSS WEIGHT 40 LBS. OR GREATER SEE ALSO IFC 909

42. PROVIDE 104 ALSO FIRE EXTINGUISHER (IF SMALL) OR GREATER

IF PROJECT SPECIFICATIONS REQUIRE SUCH:

43. PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. SEE APPENDIX "E" OF NFPA 10 FOR DISTRIBUTION OF EXTINGUISHERS.

44. 104.2.3, IFC-CHAP 7 A REQUIRED FIRE SEPARATION SHALL BE CONTINUOUS FROM FOUNDATION THROUGH ALL INTERVENING CONSTRUCTION TO THE ROOF DECK, FROM OUTSIDE WALL TO OUTSIDE WALL OR FROM FIRE BARRIER TO FIRE BARRIER. PROVIDE UL OR FM LISTED ASSEMBLY.

46. 104.6.5 PENETRATIONS THROUGH RATED CONSTRUCTION SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN TESTED IN ACCORDANCE WITH ASTM E834, UL 1479

48. 104.6.10 DRAFT STOP CONCEALED NON-SPRINKLERED SPACES BETWEEN CEILING AND FLOOR INTO AREAS NOT TO EXCEED 1,000 SQ. FT.

47. 104.6.10.2 DRAFT STOP NON-SPRINKLERED ATTIC INTO AREAS NOT TO EXCEED 3,000 SQ. FT. EACH

GENERAL FOUNDATION:

1. ALL CONCRETE SHALL CONFORM TO THE CURRENT AMERICAN CONCRETE INSTITUTE (ACI) AS FOLLOWS

A. ALL CONCRETE SHALL BE AS SPECIFIED.

B. ANY ADD MIXTURE APPLIED TO THE CONCRETE BATCH MIX (INCLUDING WATER) SHALL BE APPROVED BY THE ARCHITECT/ENGINEER FOR THE PROJECT.

C. ALL FOOTINGS AND GRADE BEAMS SHALL BE FREE OF WATER AND OR MUD PRIOR TO ANY CONCRETE PLACEMENT.

D. ALL CONCRETE SHALL BE TROWLED FINISHED BY PROFESSIONALS OF THE TRADE. SURFACES EXPOSED TO THE EXTERIOR ELEMENTS SHALL BE TROWLED RUBBED AND PROVIDED WITH A LIGHT BROOM FINISH.

E. THE CONTRACTOR SHALL VERIFY THAT THE ANCHOR BOLTS ARE EMBEDDED IN ACCORDANCE WITH THE M.B.M. ANCHOR BOLT SETTING PLANS. THE PROJECTION OF ANCHOR BOLTS TO BE IN ACCORDANCE WITH M.B.M. SPECIFICATIONS.

F. EXTERIOR DOOR LANDINGS SHALL BE AT THE SAME ELEVATION AS THE INTERIOR FINISHED FLOOR AND HELD LEVEL FOR AND AREA OF 5'x5'.

GENERAL ADA&Q:

1. LBS 40731 - PROVIDE HANDICAPPED ACCESSIBILITY IN ACCORDANCE WITH ADA-AQ (ACCESSIBILITY GUIDELINES - USE LATEST EDITION GUIDELINES):

A. 4.5 GROUND AND FLOOR SURFACES (SLIP RESISTANT UNDER ALL WEATHER CONDITIONS).

B. 4.12 PROVIDE AN ACCESSIBLE ROUTE FROM EACH ACCESSIBLE PARKING SPACE TO THE ACCESSIBLE BUILDING ENTRANCE (S).

C. 4.5.2 THRESHOLDS SHALL COMPLY WITH REQMENTS OF THIS SECTION REGARDING CHANGES IN LEVEL. NOT MORE THAN 1/2" HEIGHT AND BEVELED IF OVER 1/4"

D. 4.13.9 DOOR HARDWARE SHALL COMPLY WITH THIS SECTION. HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.

E. 4.13.10 SIGNAGE, WHERE PROVIDED AT PERMANENT ROOMS AND SPACES AND OTHER SIGNS WHICH PROVIDE DIRECTION TO OR INFORMATION ABOUT FUNCTIONAL SPACES OF THE BUILDING, SHALL BE IN ACCORDANCE WITH 4.30 (RAISED CHARACTER, LETTER SIZE, MOUNTING).

F. 4.13.16 (A) PROVIDE LOW LEVEL MOUNTED EXIT SIGN AGE IN ACCORDANCE WITH 4.30.1, 4.30.5. AND 4.30.6 (RAISED CHARACTER, LETTER SIZE, MOUNTING) AT ALL REQUIRED EXITS.

G. 4.22.4 ACCESSIBLE TOILETS SHALL COMPLY WITH 4.16.

H. 4.19 LAVATORIES SHALL COMPLY WITH THE FOLLOWING:

1. 4.19.2 LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON. KNEE AND TOE CLEARANCES SHALL COMPLY WITH FIG. 31.

2. 4.19.4 HOT WATER AND DRAIN PIPES SHALL B INSULATED OR COVERED.

3. 4.19.5 FAUCETS SHALL COMPLY WITH 4.27.4.

4. 4.19.6 MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE NOT MORE THAN 40" FROM THE FLOOR.

1. 4.19.4 TOILET ROOM GRAB BARS SHALL COMPLY WITH 4.26 AND FIG. 29.

2. 1015-2122 A DOORWAY IN A MEANS OF EGRESS SHALL PROVIDE AT LEAST 32" CLEAR (CONSIDERED 3'-0" DOOR), WHERE A PAIR OF DOORS IS PROVIDED, AT LEAST ONE LEAF SHALL COMPLY.

3. 4.19.2 PARKING SPACES AND ACCESSIBLES CANNOT INCLUDE A RAMP OR ANY OTHER SLOPED SURFACE EXCEEDING 150 (20) IN ANY/ALL DIRECTIONS.

GENERAL PLUMBING:

1. ALL PLUMBING WORK SHALL BE ACCOMPLISHED THROUGH THE USE OF A LICENSED CONTRACTOR OF THE TRADE IN A PROFESSIONAL AND WORKMAN LIKE MANNER.

2. ALL PLUMBING WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE, REGIONAL, STATE AND OR LOCAL HEALTH DEPARTMENT, THE IBC, AND THE STANDARD BUILDING CODES FOR THE GEOGRAPHICAL AREA OF CONSTRUCTION.

3. ALL WATER LINES (HOT AND COLD) AND ALL WASTE LINES SHALL BE PRESSURE TESTED PRIOR TO CONCRETE PLACEMENT.

4. INSTALL SANITARY HUBS AS PER MUNICIPAL AND STATE HEALTH DEPARTMENT REQUIREMENTS AND AS ILLUSTRATED HEREIN, AND PRESSURE TESTED PRIOR TO CONCRETE PLACEMENT.

5. ALL EXTERIOR SEWER CLEAN OUTS SHALL BE 12" ABOVE FINISHED GRADE.

6. IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO INSURE THAT NO EXISTING UTILITIES ARE INTERRUPTED BY THE CONTRACTED EXCAVATION.

7. ALL EXTERIOR FAUCET IN LOCK BOX FLUSH IN WALL.

GENERAL MECHANICAL:

1. COORDINATE ALL DUCTWORK WITH ELECTRICAL LIGHTING PLAN.

2. ALL DUCT WORK SHALL CONFORM WITH THE STANDARD MECHANICAL CODE.

3. AIR CONDITIONING, HEATING, VENTILATION DUCT WORK AND RELATED EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 90A-90.2

4. FIRESTATS WILL BE INSTALLED IN ALL UNITS OVER 2000 CFMS ACCORDING TO SMC-90.4 406.1

5. METAL BUILDING SUPPLIER TO PROVIDE STRUCTURE SUPPORT FOR A/C UNITS.

6. 90A: 3-3.12 (999B) PROVIDE FIRE DAMPERS IN AIR TRANSFER OPENINGS IN PARTITIONS REQUIRED TO BE FIRE RATED.

GENERAL ELECTRICAL:

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH NFPA 70, NATIONAL ELECTRICAL CODE, CURRENT EDITION, THE IBC, AND ALL RULES AND OR REGULATIONS HANDED DOWN BY THE STATE, LOCAL OR OTHER REGULATING AUTHORITY FOR THE END PROJECT.

2. THE ELECTRICAL SUBCONTRACTORS SHALL VERIFY ALL ASPECTS OF THE ELECTRICAL WORK WITH THE LOCAL UTILITY COMPANY PROVIDING THE SERVICES TO THE PROPOSED BUILDING. INSURE THAT THE GENERAL INTENT OF THE DRAWINGS IN ACCORDANCE WITH THE NEC IS APPLIED AND CONSIDERED WITH THE INITIAL BID PROPOSAL.

3. THE ELECTRICAL CONTRACTOR SHALL INSTALL A STRING (PULL LINE) IN 2" CONDUIT FOR TELEPHONE SERVICE COMPANY USE.

4. THE ELECTRICAL CONTRACTOR SHALL PROVIDE SERVICES FOR HVAC UNITS. (CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING.)

GENERAL SITE NOTES:

1. ESTABLISH THE NEW BOUNDARIES OF THE NEW PERIMETER FENCING, THE PLACEMENT OF THE BUILDING, LOCATION OF THE SUBSURFACE DRAINAGE ROUTING, AND ALL OTHER SITE FEATURES THROUGH THE SERVICES OF A LICENSED SURVEYOR.

2. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY AND MARK THE EXACT LOCATION OF ALL EXISTING UTILITIES ABOVE AND BELOW GRADE.

3. CONTRACTOR SHALL VERIFY THE DISCONNECTION OF ALL UTILITIES AFFECTING THE IMMEDIATE CONSTRUCTION AREA PRIOR TO BEGINNING WORK.

4. REMOVE ALL VEGETATION, STUMPS, OR ANY OTHER FORM OF ORGANIC AND NON-ORGANIC DEBRIS FROM THE AREA AFFECTED BY CONSTRUCTION ACTIVITY. SPECIFICALLY CLEAR GRUB SITE MIN. OF 20 FT. DISTANCE FROM BUILDING PERIMETER OR AFFECTED WORK AREA. PROTECT ALL REMAINING TREES DURING CONSTRUCTION.

6. STORE AND STOCKPILE REMOVED TOP SOIL AT OWNERS DESIGNATED LOCATION. REDISTRIBUTE SUITABLE MATERIAL AT THE END OF THE CONSTRUCTION AND DISPOSE UNSUITABLE MATERIAL OFF-SITE.

6. REMOVE ALL SOFT AREAS WHICH PUMP, OR ROLL, PRIOR TO LAYING FILL MATERIAL. PROOF ROLL CONSTRUCTION AREA PRIOR TO PLACING FILL MATERIAL.

7. PLACE A-4 FILL MATERIAL IN LIFTS NO GREATER THAN 6" AND THOROUGHLY COMPACT EACH LIFT. PROOF ROLL EACH LIFT.

8. CONTRACTOR TO PLACE FILL MATERIAL ON DRY SUBSTRATE, COMPACT IN RECD LIFTS AND PROVIDE SOIL COMPACTING TESTS AFTER ATTAINING REQUIRED ELEVATIONS.

9. CONTRACTOR SHALL VERIFY LOCATION OF ALL TRENCHING EXCAVATION WITH THE OWNER PRIOR TO COMMENCING WORK.

10. THE EXACT LOCATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES THAT ARE TO REMAIN AND ALL CONSTRUCTION SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY. ANY DAMAGE OR RELOCATION SHALL BE ACCOMPLISHED PER LOCAL STANDARD AT THE CONTRACTORS EXPENSE.

11. CONTRACTOR SHALL CHECK EXISTING GRADES PRIOR TO CONSTRUCTION TO DETERMINE THE EXTENT OF CUTTING AND FILLING FOR ATTAINING REQUIRED ELEVATIONS.

12. PROVIDE ALL DEMOLITION, HAULING, EXCAVATIONS, EARTHWORK, FILL MATERIAL, GRADING, ETC. TO CONSTRUCT THE NEW BUILDING AND SITE WORK.

13. RELOCATE END OR REROUTE ALL EXISTING UTILITIES WHICH INTERFERE WITH NEW CONSTRUCTION.

14. FINISH GRADE ADJACENT TO BUILDINGS SHALL HAVE A POSITIVE SLOPE AWAY FROM THE BUILDINGS FOR POSITIVE DRAIN.

15. PROVIDE 4" OF TOP SOIL WITHIN 50' OF NEW BUILDING PERIMETERS AND SEED ACCORDING TO DOTD SPECIFICATIONS. (SLOPE TO DRAIN)

16. IF PRESENTED SITE CONDITIONS VARY FROM ACTUAL, CONDITION SUCH AS BUILDING LOCATIONS OR OTHER SITE COMPONENTS LOCATIONS INCLUDING MECHANICAL EQUIPMENT, UTILITIES, ETC. CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK. REALIGNMENT OF WORK ITEMS DUE TO ACTUAL CONDITIONS VS. PRESENTED CONDITIONS SHALL BE APPROVED BY THE ARCHITECT AND ALL SUCH CHANGES SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.

FIRE ALARM SYSTEM SUBMITTAL:

SUBMITTAL SHALL INCLUDE THE FOLLOWING INFORMATION:

1. DRAWINGS SHALL BE SIGNED AND SEALED BY A LICENSED ENGINEER REGISTERED IN THE STATE WHERE PROJECT IS LOCATED.

2. DRAWINGS SHALL INDICATE REQUIRED CODES FOR COMPLIANCE.

3. FLOOR PLANS LOCATING ALL DEVICES AND EQUIPMENT

4. ALARM CONTROL AND TROUBLE SIGNALING DEVICES

5. ANNUNCIATION

6. POWER CONNECTION

7. BATTERY CALCULATIONS

8. CONDUCTOR TYPES AND SIZES

9. VOLTAGE DROP CALCULATIONS

10. MANUFACTURERS, MODEL NUMBERS AND LISTING INFORMATION FOR EQUIPMENT DEVICES AND MATERIALS.

11. DETAILS OF CEILING HEIGHT AND CONSTRUCTION

12. THE INTERFACE OF FIRE SAFETY CONTROL FUNCTIONS

13. ALL DETAILS NECESSARY TO PROPERLY INSTALL SYSTEM

14. SUBMIT DRAWINGS TO FIRE MARSHAL, BUILDING DEPT. OR OTHER GOVERNING AUTHORITIES AS REQUIRED BY EACH

15. SUBMIT ONE SET TO ARCHITECT FOR THEIR RECORDS

FIRE SUPPRESSION SYSTEM SUBMITTAL:

SUBMITTAL SHALL INCLUDE THE FOLLOWING INFORMATION:

1. DRAWINGS SIGNED AND SEALED BY A LICENSED ENGINEER REGISTERED IN THE STATE WHERE PROJECT IS LOCATED.

2. CALCULATIONS SIGNED AND SEALED BY A LICENSED ENGINEER REGISTERED IN THE STATE WHERE PROJECT IS LOCATED.

3. DRAWINGS SHALL INDICATE REQUIRED CODES FOR COMPLIANCE.

4. FLOOR PLANS LOCATING ALL SPRINKLER HEADS AND PIPING LAYOUT

5. DRAWING SHALL INCLUDE COMPLETE SEISMIC SUPPORT DETAILS

6. ALL DETAILS NEEDED TO INSTALL SYSTEM

7. IDENTIFICATION METHOD FOR ALL ROOMS AND EQUIPMENT.

8. FLOOR PLANS.

CONTACTS

PROJECT TITLE: INTERIOR REMODEL FOR ASCENSION PARISH DPW GONZALES, LA

LOCATION:

OWNER: ASCENSION PARISH

ARCHITECT: MICHAEL LEBLANC, AIA
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PH (337)237-1630

PROJECT ARCHITECT: MICHAEL LEBLANC, AIA
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CODE REVIEW

EXISTING BUILDING:

NO MAJOR CONSTRUCTION
INTERIOR RE-HABILITATION ONLY

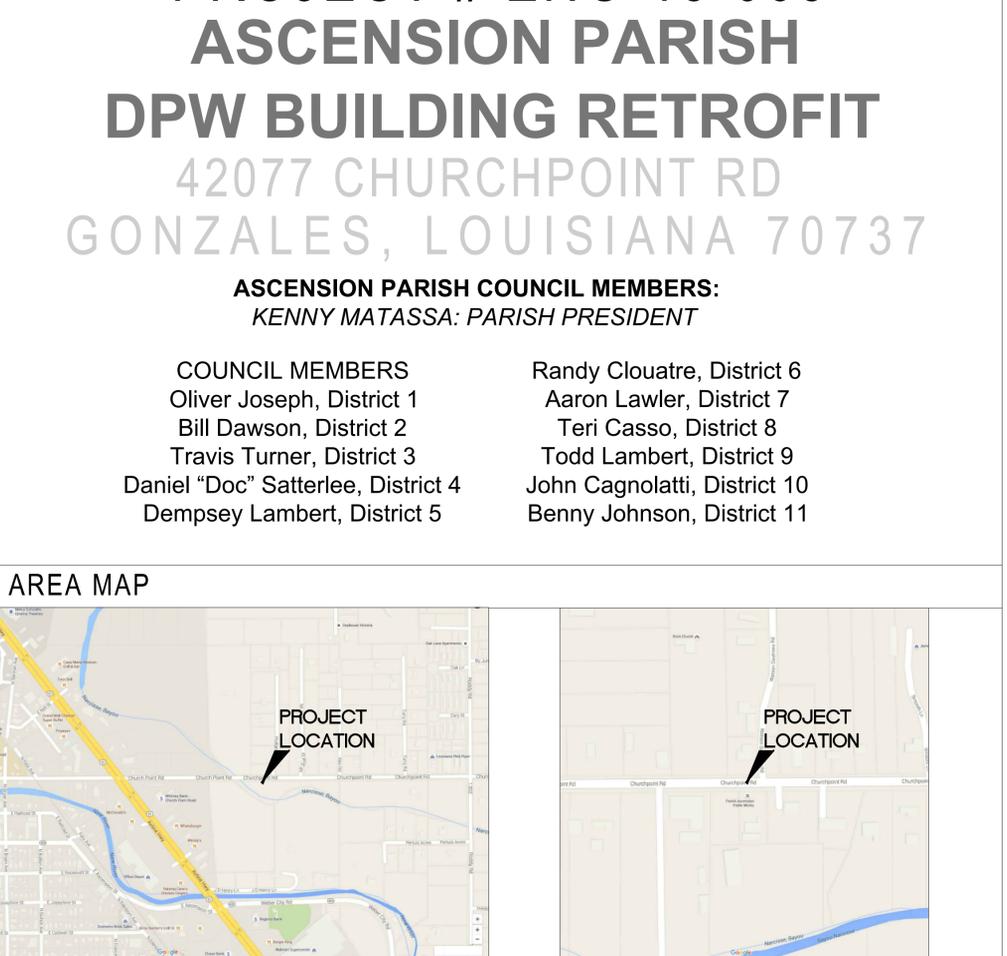
BUSINESS:

UNDER ROOF SQUARE FOOTAGE: 10,664 SF.
CONDITIONED SQUARE FOOTAGE: 10,664 SF.

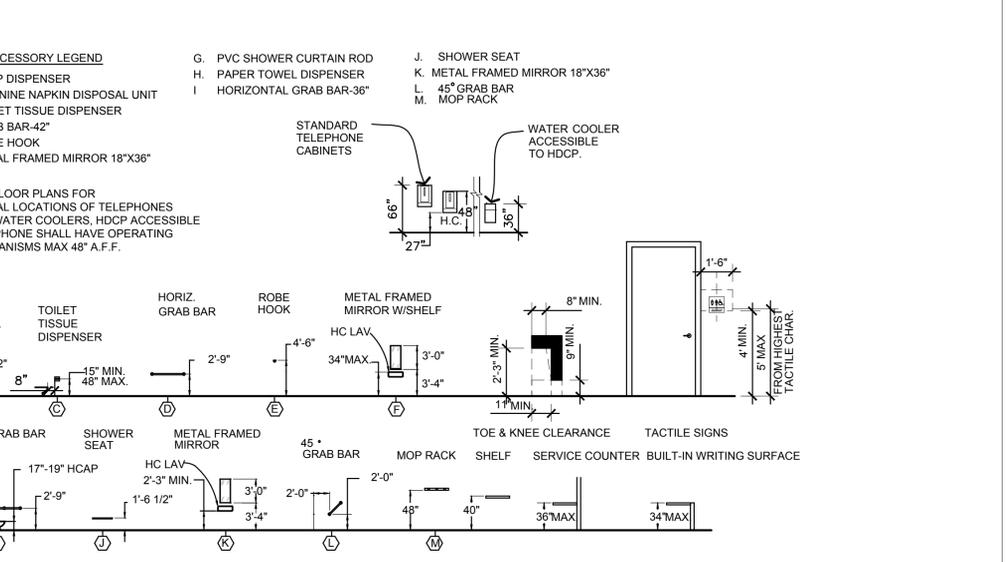
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AREA MAP

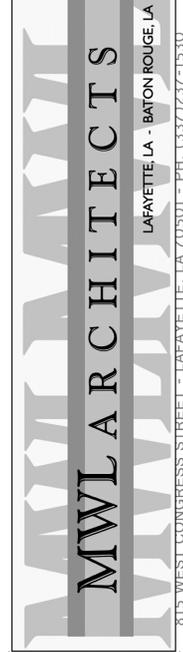


ADA MOUNTING HEIGHTS



ABBREVIATIONS

ACOUS.	ACOUSTICAL	HR.	HOUR	EQ.	EQUAL	REF.	REFRIGERATOR
ADJ.	ADJUSTABLE	INSUL.	INSULATION	E.W.C.	ELECTRICAL WATER COOLER	REINF.	REINFORCING
A.F.F.	ABOVE FINISHED FLOOR	LAM.	LAMINATE	EXP.	EXPANSION	REQD.	REQUIRED
ALUM.	ALUMINUM	LAV.	LAVATORY	EXT.	EXTERIOR	SHT.	SHEET
BD.	BOARD	MAX.	MAXIMUM	F.E.	FIRE EXTINGUISHER	SIM.	SIMILAR
BM.	BEAM	MECH.	MECHANICAL	F.E.C.	FIRE EXTINGUISHER IN CABINET	SPEC.	SPECIFICATION
B.O.	BY OTHERS OR BY OWNERS	MIN.	MINIMUM	F.F.	FINISHED FLOOR	SO.	SQUARE
C.B.	CHALKBOARD OR CATCH BASIN	M.L.	METAL LATH	FL.	FLOOR	STL.	STEEL
C.J.	CONSTRUCTION JOINT	M.O.	MASONRY OPENING	F.O.S.	FACE OF STUD	STRUCT.	STRUCTURAL
CL.	CEILING	MULL.	MULLION	F.R.	FIRE RETARD ANT	SUSP.	SUSPENDED
C.M.U.	CONCRETE MASONRY UNIT	MTL.	METAL	GALV.	GALVANIZED	T.P.H.	TOILET PAPER HOLDER
COL.	COLUMN	NAT.	NATURAL	G.I.	GALVANIZED IRON	UR.	URNAL
CONC.	CONCRETE	NO.	NUMBER	GYP.	GYPSUM	VEND.	VENDING
CONT.	CONTINUOUS	N.T.S.	NOT TO SCALE	H.M.	HOLLOW METAL	V.O.J.	VERIFY ON JOB
DET.	DETAIL	O.C.	ON CENTER	HORIZ.	HORIZONTAL	V.W.C.	VINYL WALL COVERING
EA.	EACH	O.H.	OPPOSITE HAND	PLAS.	PLASTER OR PLASTIC		
E.J.	EXPANSION JOINT	OZ.	OUNCE	PL.	PLASTIC		
ELEC.	ELECTRICAL	ELEV.	ELEVATION OR ELEVATOR	REF.	REFER		



PROJECT # ENG-15-063

ASCENSION PARISH

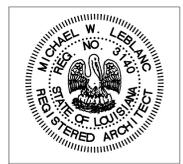
DPW BUILDING RETROFIT

42077 CHURCH POINT ROAD - GONZALES, LOUISIANA

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The contractor shall verify all dimensions and existing conditions at the site before proceeding with each phase of his work.

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PROJECT # ASCEN 15

DATE 04/26/2016

DESIGNED BY G.Z.

DRAWN BY T.Z.

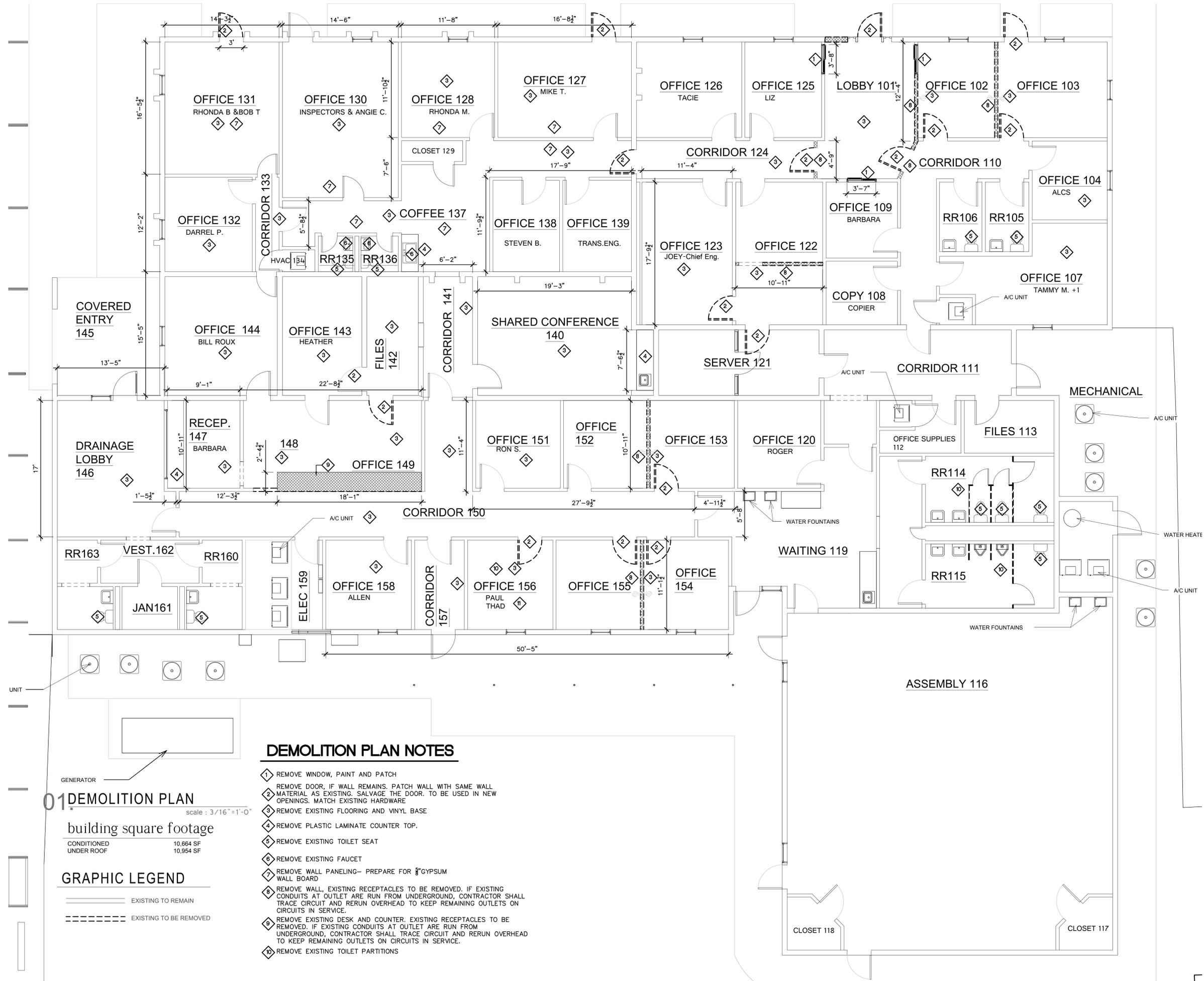
CHECKED BY M.L.

REVISED

T-1

SHEET NUMBER

1 OF 4



DEMOLITION PLAN NOTES

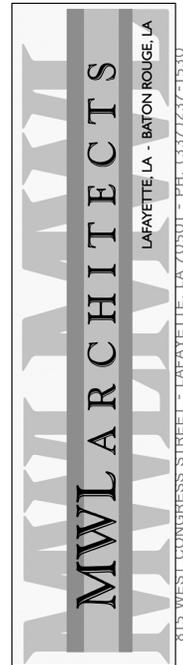
- 1 REMOVE WINDOW, PAINT AND PATCH
- 2 REMOVE DOOR, IF WALL REMAINS. PATCH WALL WITH SAME WALL MATERIAL AS EXISTING. SALVAGE THE DOOR. TO BE USED IN NEW OPENINGS. MATCH EXISTING HARDWARE
- 3 REMOVE EXISTING FLOORING AND VINYL BASE
- 4 REMOVE PLASTIC LAMINATE COUNTER TOP.
- 5 REMOVE EXISTING TOILET SEAT
- 6 REMOVE EXISTING FAUCET
- 7 REMOVE WALL PANELING-- PREPARE FOR 5/8" GYPSUM WALL BOARD
- 8 REMOVE WALL, EXISTING RECEPTACLES TO BE REMOVED. IF EXISTING CONDUITS AT OUTLET ARE RUN FROM UNDERGROUND, CONTRACTOR SHALL TRACE CIRCUIT AND RERUN OVERHEAD TO KEEP REMAINING OUTLETS ON CIRCUITS IN SERVICE.
- 9 REMOVE EXISTING DESK AND COUNTER. EXISTING RECEPTACLES TO BE REMOVED. IF EXISTING CONDUITS AT OUTLET ARE RUN FROM UNDERGROUND, CONTRACTOR SHALL TRACE CIRCUIT AND RERUN OVERHEAD TO KEEP REMAINING OUTLETS ON CIRCUITS IN SERVICE.
- 10 REMOVE EXISTING TOILET PARTITIONS

01 DEMOLITION PLAN

building square footage
 scale: 3/16"=1'-0"
 CONDITIONED 10,664 SF
 UNDER ROOF 10,954 SF

GRAPHIC LEGEND

— EXISTING TO REMAIN
 - - - - - EXISTING TO BE REMOVED

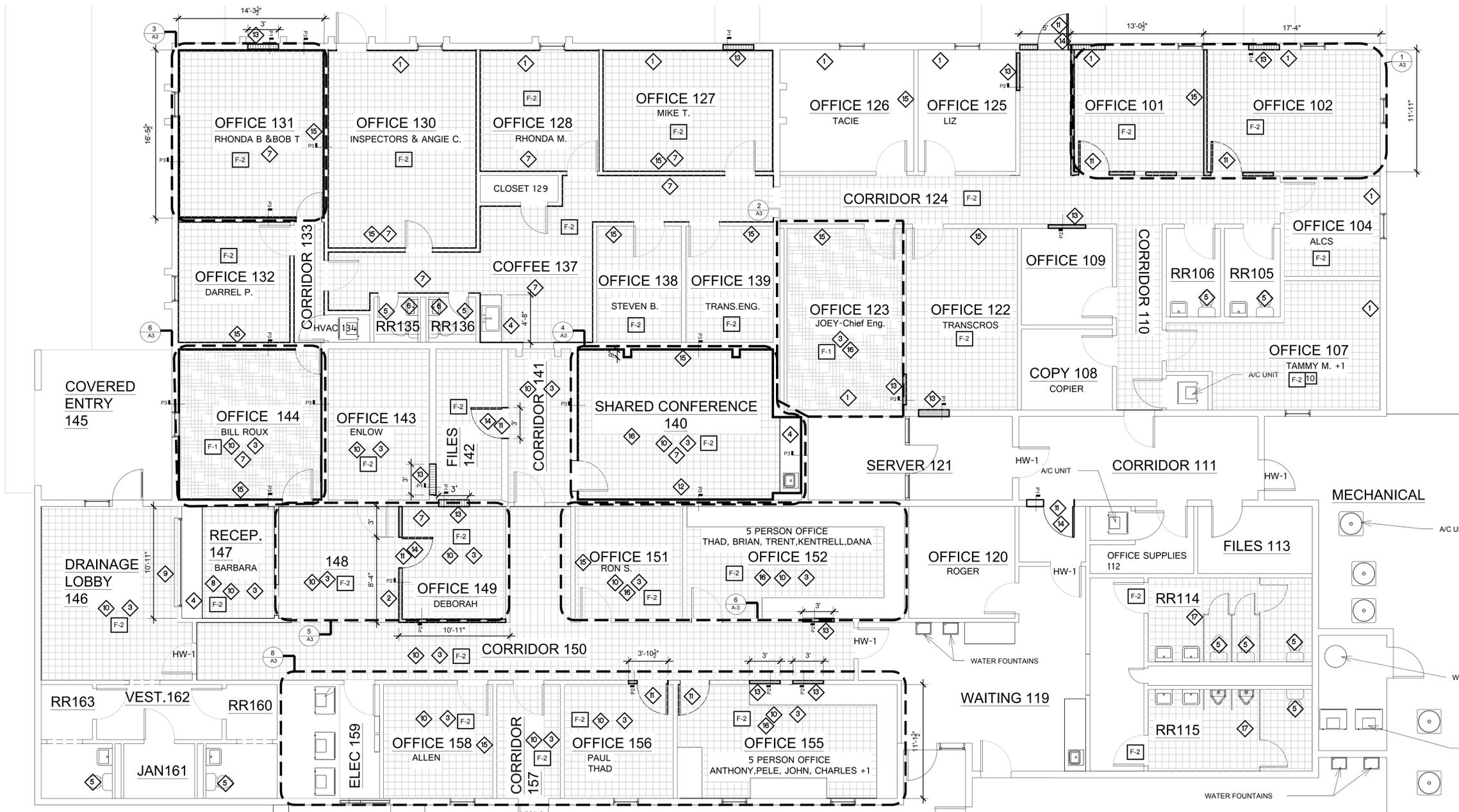


PROJECT # ENG-15-063
ASCENSION PARISH
DPW BUILDING RETROFIT
 42077 CHURCH POINT ROAD - GONZALES, LOUISIANA

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PROJECT # ASCEN 15
 DATE 04/26/2016
 DESIGNED BY G.Z.
 DRAWN BY T.Z.
 CHECKED BY M.L.
 REVISION



01 RENOVATED FLOOR PLAN
 scale : 3/16" = 1'-0"
 square footage
 CONDITIONED 10,864 SF
 UNDER ROOF 10,954 SF

RENOVATION GENERAL NOTES

- 1 ALL EXISTING INTERIOR SURFACES TO REMAIN (WALLS, CEILING, ETC.) AFFECTED BY DEMOLITION WORK SHALL BE CLEANED AND REPAIRED AND PAINTED AS REQUIRED FOR NEW FINISH WORK.
- 2 MATCH ALL EXISTING CASINGS, TRIM, DOORS, AND WINDOWS TO THE GRAY TRIM. BROWN TRIM TO BE PAINTED GRAY.
- 3 THE EXISTING BUILDING SHALL BE MAINTAINED AS WEATHER TIGHT DURING THE DEMOLITION AND RENOVATION CONSTRUCTION PROCESS.
- 4 VERIFY ALL EXISTING MEASUREMENTS ON SITE BEFORE CONSTRUCTION.
- 5 ALL EXISTING INTERIOR SURFACES SHALL BE CLEANED FOLLOWING CONSTRUCTION.
- 6 ALL DUCTWORK/EXISTING GRILLS SHALL BE CLEANED. SEE SPECIFICATION ON HVAC DUCT CLEANING.
- 7 ALL EXISTING FURNISHINGS AND EQUIPMENT NOT INCLUDED IN THE RENOVATION SHALL BE REMOVED FROM THE BUILDING DURING CONSTRUCTION.
- 8 CEILING TILE TO BE REPLACED AS NEEDED. V.O.J. WITH OWNER/ARCHITECT.
- 9 EXISTING A/C DIFFUSER & R/A TO BE RELOCATED IN OFFICE 148/149.
- 10 ADDITIONAL OUTLETS & DATA MAY BE REQUIRED V.O.J.
- 11 REPLACE ALL KEYS, INTERCHANGABLE CORES IN ALL DOOR LOCKSETS. SOME MAY BE CYLINDER LOCKS. SOME MAY BE MORTISE LOCKS. CONTRACTOR TO VERIFY ALL LOCKSETS ON SITE.

RENOVATION PLAN NOTES

- 1 EXISTING MASONRY WALL TO RECEIVE PAINT. PREPARE WALL FOR PAINT AS PER SPECIFICATIONS. MATCH EXISTING EXTERIOR PAINT, NEW INTERIOR PAINT COLOR AS SELECTED BY ARCHITECT.
- 2 ADD NEW 4" FRAMED WALL IN THIS AREA. FLOAT, FINISH, PAINT ENTIRE WALL. SEE DETAILS FOR WALL CONSTRUCTION.
- 3 NEW FLOORING IN THIS AREA. VCT & CARPET TO BE SELECTED BY ARCHITECT.
- 4 NEW PLASTIC LAMINATE COUNTER TOPS. SEE TYPICAL COUNTER SECTION FOR DETAILS. COLOR TO BE SELECTED BY ARCHITECT.
- 5 REPLACE EXISTING TOILET SEAT WITH COMMERCIAL HEAVY DUTY PLASTIC TOILET SEAT. FRONT TYPE OPEN, WHITE. MAY BE ELONGATED OR ROUND. V.O.J.
- 6 REPLACE EXISTING FAUCET WITH ADA ACCESSIBLE FAUCET EQUAL TO ZURN SIERRA FAUCET Z7440.
- 7 EXISTING WALLS TO RECEIVE 5/8" GYPSUM BOARD PAINTED AND FLOATED. PAINT COLOR TO BE SELECTED BY ARCHITECT.
- 8 REFINISH EXISTING CABINETRY. CLEAN, SAND RESEAL. ARCHITECT TO BE NOTIFIED OF REPAIRS FOR PRIOR APPROVAL.
- 9 NEW FROSTED FINISH ON GLASS RECEPTION WINDOW TO MATCH THE EXISTING RECEPTION WINDOW IN RM. 101.
- 10 NEW VINYL BASE TO BE INSTALLED WHERE NEW FLOORING IS BEING INSTALLED.
- 11 REUSE EXISTING DOOR THAT WAS REMOVED, INSTALL NEW PAINTED HM FRAME TO MATCH EXISTING GRAY PAINT.
- 12 DRY ERASE/MAGNETIC BOARD TO BE ADHERED TO ENTIRE LENGTH & HEIGHT OF WALL. SEE SPECIFICATIONS.
- 13 PAINT & PATCH TO MATCH EXISTING WALL. ALL BROWN HM FRAMES TO BE PAINTED GRAY TO MATCH EXISTING NEW DOOR OPENING & HOLLOW METAL FRAME TO MATCH EXISTING GRAY PAINTED FRAMES. DOORS ARE FROM SALVAGED DOORS ON THIS PROJECT.
- 14 NEW POWER AND DATA FOR TV AT 72" A.F.F.. GC TO PROVIDE TV AND MOUNT AS PER OWNER SPECIFICATIONS.
- 15 NEW FURNITURE IN THIS ROOM.
- 16 NEW PLASTIC LAMINATE TOILET PARTITIONS.

GRAPHIC LEGEND



FLOORING LEGEND



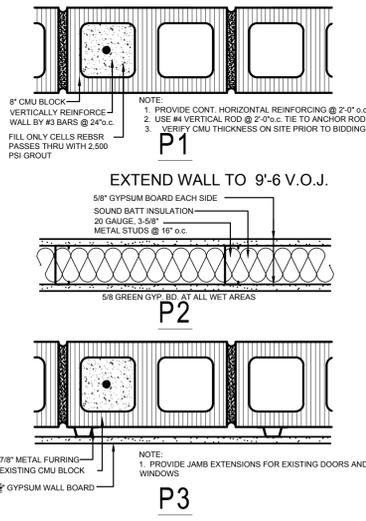
DOOR HARDWARE

HW-1. ACCESS CONTROL DOOR HARDWARE PROVIDE ACCESS CONTROL SYSTEM FIRMWARE AND SOFTWARE FOR A COMPLETELY OPERATIONAL ACCESS CONTROL & SECURITY SITE MANAGEMENT SYSTEM. SEE SPECIFICATION.

ALL OTHER DOORS SHALL RECEIVE NEW LOCKING CORES WITH NEW KEYING

WINDOW SILL @ 2'-0" A.F.F.
 HEAD HT. @ 7' AFF. TYP. FOR ALL EXTERIOR WINDOWS

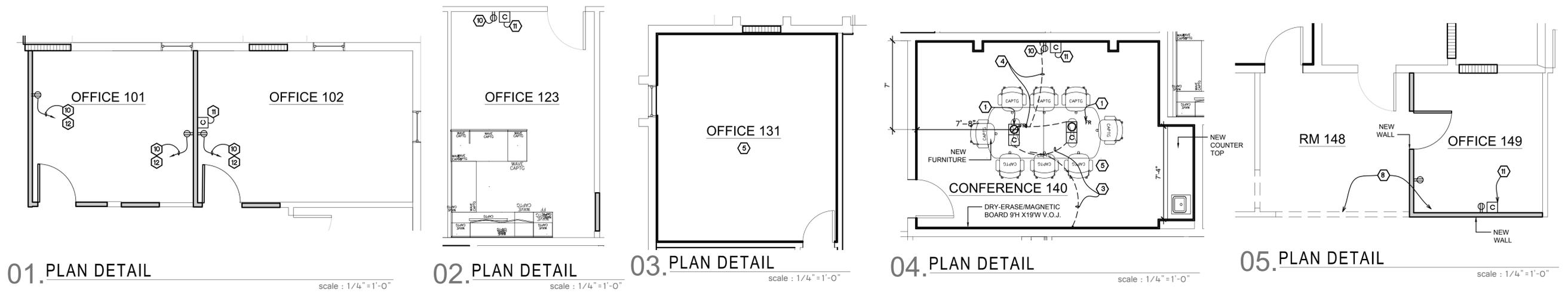
PARTITION TYPES



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01. PLAN DETAIL

scale : 1/4" = 1'-0"

02. PLAN DETAIL

scale : 1/4" = 1'-0"

03. PLAN DETAIL

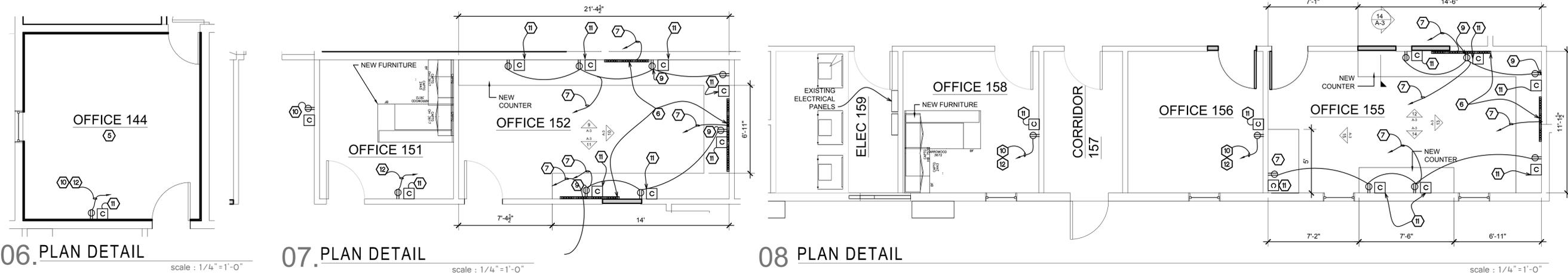
scale : 1/4" = 1'-0"

04. PLAN DETAIL

scale : 1/4" = 1'-0"

05. PLAN DETAIL

scale : 1/4" = 1'-0"



06. PLAN DETAIL

scale : 1/4" = 1'-0"

07. PLAN DETAIL

scale : 1/4" = 1'-0"

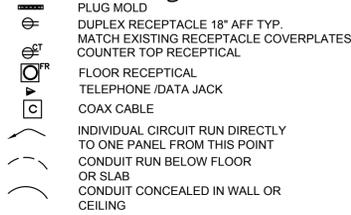
08. PLAN DETAIL

scale : 1/4" = 1'-0"

RENOVATION PLAN DETAIL NOTES

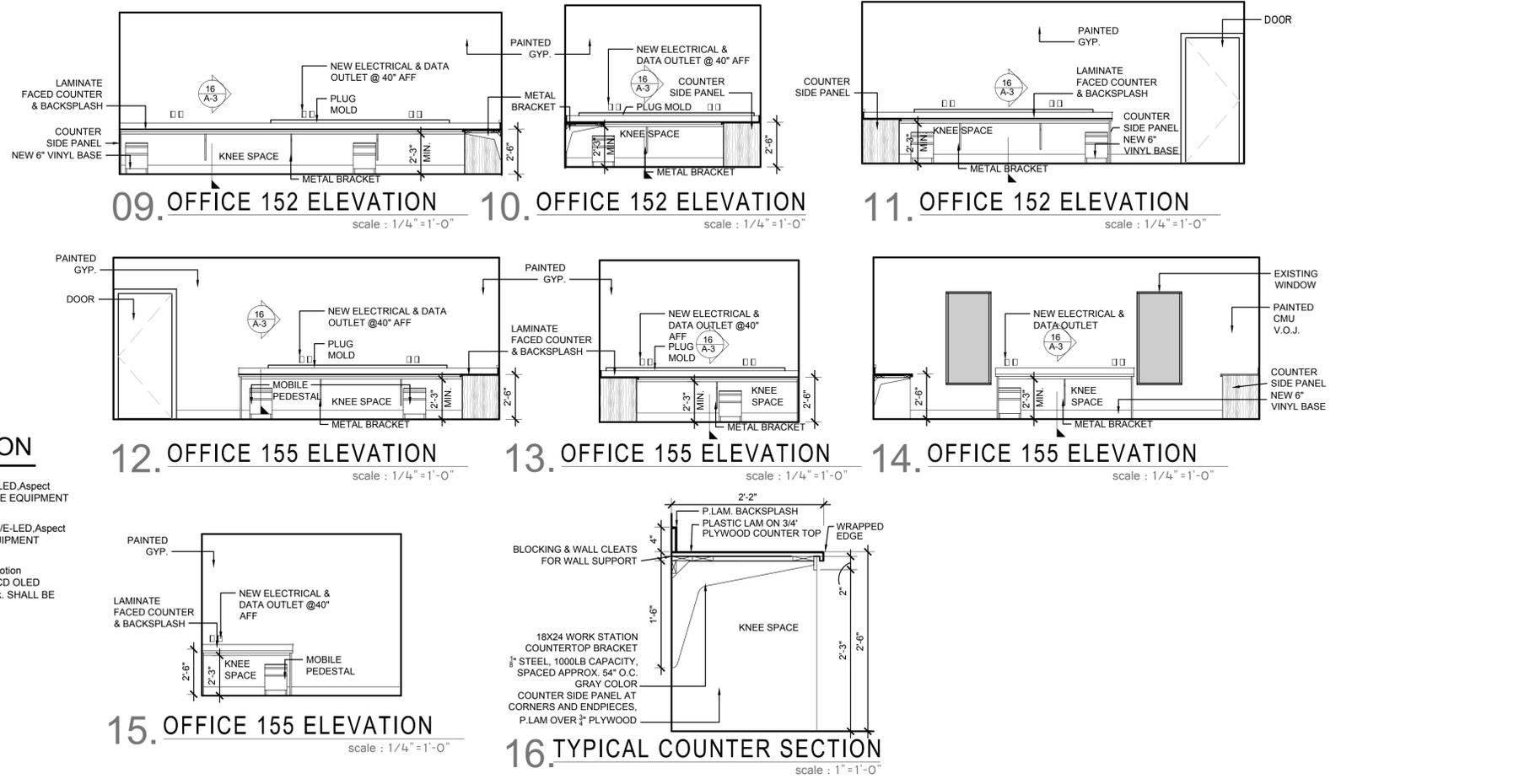
- 1 DUAL GANG CAST IRON ON GRADE RATED, FLUSH MOUNTED IN FLOOR WITH BRASS COVERPLATE SUITABLE AND COMPATIBLE WITH VCT FLOOR. IN ONE COMPARTMENT, PROVIDE 2-120V 20 AMP DUPLEX RECEPTACLES. IN 2ND COMPARTMENT PROVIDE ACTIVATIONS ONLY FOR TWO RJ45 DATA OUTLETS. (RJ45 OUTLETS AND CABLING BY OTHERS)
- 2 CUT AND PATCH EXISTING CONCRETE FLOOR TO ALLOW FOR INSTALLATIONS OF FLOOR BOXES AND CONDUITS INDICATED. PREPARE PATCH SMOOTH, FLAT, AND LEVEL AND MAKE READY FOR VCT INSTALLATION.
- 3 1" CONDUIT SCH. 40 PVC, WITH PULL STRING FROM FLOOR BOX TO ACCESSIBLE CEILING. CONCEAL CONDUIT IN NEW FURRING AT WALL TO ABOVE ACCESSIBLE CEILING.
- 4 3/4" C WITH 3-#12 RAN BELOW GRADE. TURN UP IN NEW WALL FURRING TO CONCEAL TO ABOVE ACCESSIBLE CEILING. CONNECT TO 120V RECEPTACLE CIRCUIT THIS ROOM.
- 5 AT EXISTING RECEPTACLES, SWITCHES OF THIS SPACE, REMOVE EXISTING OUTLET AND PROVIDE BOX EXTENSION TO BRING OUTLET AND SWITCHES BOX FLUSH WITH NEW WALL FURRING. PROVIDE NEW DEVICE AND LEXAN COVER PLATE FOR EACH LOCATION.
- 6 10' SURFACE MOUNTED PLUG STRIP SET AT HEIGHT AS PER ARCHITECT DURING CONSTRUCTION. PLUG STRIP TO HAVE 20 15A SINGLE, 120V RECEPTACLES MINIMUM. (6" ON CENTER)
- 7 1/2" WITH 3-#12 TO NEW 120V CIRCUIT BREAKER IN EXISTING ELECTRICAL PANEL. VERIFY ON JOB. EXISTING RECEPTACLES TO BE REMOVED. IF EXISTING CONDUITS AT OUTLET ARE RUN FROM UNDER GROUND, CONTRACTOR SHALL TRACE CIRCUIT AND RERUN OVERHEAD TO KEEP REMAINING OUTLETS ON CIRCUITS IN SERVICE.
- 8 SET FLUSH MOUNTED BOX BEHIND PLUG STRIP IN HORIZONTAL POSITION. FISH/CONCEAL NEW HOMERUN WIRING IN EXISTING WALL. PROVIDE COVERPLATE AT BOX TO CONCEAL BOX AND WIRING BEHIND PLUG STRIP.
- 9 NEW FLUSH MOUNTED 120V RECEPTACLE. FISH/CONCEAL WIRING DOWN EXISTING WALL. VERIFY HEIGHT WITH ARCHITECT PRIOR TO ROUGH IN.
- 10 FLUSH MOUNT ROUGH IN FOR DATA OUTLET AT HEIGHT AS DIRECTED BY ARCHITECT. FISH/CONCEAL 3/4" FLEXIBLE METAL CONDUIT WITH PULL STRING FROM OUTLET TO ABOVE ACCESSIBLE CEILING.
- 11 3-#12 1/2" C. CONNECT TO NEAREST UNSWITCHED 120V CIRCUITS.

electrical legend



TV EQUIPMENT SPECIFICATION

1. TELEVISION SHALL BE PANASONIC TH-50LFE7U 50", LCD VA Panel/E-LED, Aspect Ratio 16:9, OR APPROVED EQUAL, for Rooms 122,127,138,151,158 SEE EQUIPMENT SPECIFICATION
2. TELEVISION SHALL BE PANASONIC TH-65LFE7U 65", LCD VA Panel/E-LED, Aspect Ratio 16:9, OR APPROVED EQUAL, for Rooms 102,140 & 144 SEE EQUIPMENT SPECIFICATION
3. TELEVISION MOUNTING BRACKET: Heavy-Duty Premium Swivel Full Motion Articulating Tilt TV Wall Mount Corner Bracket for 32-60 inch Screen LCD OLED Plasma 4K Flat Panel Screen VESA up to 750x450, 175 lb Capacity, Black. SHALL BE COMPATIBLE WITH TV BRAND AND SIZE.



09. OFFICE 152 ELEVATION

scale : 1/4" = 1'-0"

10. OFFICE 152 ELEVATION

scale : 1/4" = 1'-0"

11. OFFICE 152 ELEVATION

scale : 1/4" = 1'-0"

12. OFFICE 155 ELEVATION

scale : 1/4" = 1'-0"

13. OFFICE 155 ELEVATION

scale : 1/4" = 1'-0"

14. OFFICE 155 ELEVATION

scale : 1/4" = 1'-0"

15. OFFICE 155 ELEVATION

scale : 1/4" = 1'-0"

16. TYPICAL COUNTER SECTION

scale : 1" = 1'-0"

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