



PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT

Planning Commission

December 14, 2016 - 6:00 PM

Courthouse East, 2nd Floor, Council Meeting Room
Gonzales, Louisiana

AGENDA

- 1. Call to Order**
- 2. Roll Call of Members**
- 3. Pledge of Allegiance**
- 4. Introduction of Staff**
- 5. Chairman's Comments**
- 6. General Business**
- 7. Minutes**
 - (A) **Approval or Denial of the Minutes and Written Decisions of the November 9, 2016 Planning Commission Meeting**
- 8. Consent Agenda**
 - (A) **Affidavit of Mortgage Declaration**
Adam Fox - Lot LG-2-A-2 (12021 Laurel Ridge Rd, St. Amant, LA)
 - (B) **Affidavit of Mortgage Declaration**
Donald W. Dykes and Pamela L. Dykes - Lot A-1
(42540 Norwood Rd, Gonzales, LA)
 - (C) **Affidavit of Mortgage Declaration**
Charles S. Schroll - Lots C and D (13087 Roddy Road, Gonzales, LA)
 - (D) **Affidavit of Mortgage Declaration**
Oak Grove Estates, 2nd Filing
 - 1) Chad M. & Laura S. Brackin - Lots 32-A & 33-A (18692 Oak Grove Pkwy; Prairieville, LA)
 - 2) David L. & Kristen H. Hoffman - Lot 34-A-1 (18736 Oak Grove Pkwy; Prairieville, LA) -*Whitney Bank (Standard Mortgage has objected until further review)*
- 9. Public Hearing to Approve or Deny the Following Family Partition:**

- (A) **Virgil J. Bourque, III Property - Lots A and B**
W. J. Cointment Surveyors
(Council District 9)
- (B) **George Babin Property - Lots B-3-4-A and B-3-4-B**
W. J. Cointment Surveyors
(Council District 9)
- (C) **Wilmer LeBlanc Tanner Property - Lots A, B & C**
McLin Taylor, Inc.
(Council District 2)

10.Public Hearing to Approve or Deny the Following Mobile Home Parks:

- (A) **Family Court Mobile Home Park Expansion**
B. M. Aguiard & Associates, LLC
(Council District 10)
- (B) **Shady Oaks RV Park Expansion**
Louisiana Land Engineering, LLC
(Council District 5)

11.Public Hearing to Approve or Deny the Following Preliminary Plats:

- (A) **Gateway Industrial Park, Second Filing, Phase 1**
CSRS
(Council District 3)

12.Public Hearing to Approve or Deny the Following Subdivision Final Plat:

- (A) **Ascension Commerce Center - 5th Filing**
Quality Engineering & Surveying, LLC
(Council District 3)

13.Staff Report

14.Engineering Staff Report

15.Adjourn



Description: Approval or Denial of the Minutes and Written Decisions of the November 9, 2016 Planning Commission Meeting

ATTACHMENTS:

Description	Upload Date	Type
Nov 9, 2016 Planning Comm Minutes and Written Decisions	12/2/2016	Cover Memo
Attachments to Minutes of Nov 9 2016	12/2/2016	Cover Memo

The below minutes and written decisions are taken from the meeting to represent items addressed and actions taken by this board. All meetings are recorded with video and audio for our records. In the event these minutes and written decisions are ever in question or controversy, the audio/video archive shall be used to determine the actual item or action taken by individuals present at this meeting.

**MINUTES AND WRITTEN DECISIONS
PLANNING COMMISSION
November 9, 2016**

The Planning Commission of the Parish of Ascension held a Public Meeting on Wednesday, November 9, 2016 at 6:00 p.m. in the Courthouse East Meeting Room, Gonzales, Louisiana in a regular session convened.

I. Meeting was Called to Order

Meeting was called to order by Chairman Matthew Pryor.

II. Roll Call of Members

The following members were present:

Douglas Foster, Aaron Chaisson, Anthony Christy, Matthew Pryor, Morrie Bishop, Edward Dudley

The following members were absent:

Julio Dumas

III. Pledge of Allegiance

IV. Introduction of Staff

Stacie Webb – Secretary, Planning and Development

Cody Martin – Legal Counsel

Eric Poche – Planner

Jerome Fournier – Director of Planning and Development

Lance Brock – Zoning Official

Shaun Sherrow – Engineering Review Agent

V. Chairman's Comments

Chairman had no comments.

VI. Approval or Denial of the Minutes and Written Decisions of the October 12, 2016 Planning Commission Meeting

Commission Action: Moved by Mr. Aaron Chaisson, seconded by Mr. Anthony Christy and unanimously adopted, to approve the minutes and written decisions of the October 12, 2016 Planning Commission meeting as presented.

VII. Consent Agenda

A) Affidavit of Mortgage Declaration

Cindy R. Quick – Lot A-1 (41372 Black Bayou Road, Gonzales, LA)

B) Affidavit of Mortgage Declaration

Michael P. Landry – Lot 9 (14196 Adam Arceneaux Dr. Gonzales, LA)

C) Affidavit of Mortgage Declaration

Pit Stop Carwash St. Amant, LLC (11520 Hwy 431, St. Amant, LA)

- 1) Pit Stop Carwash St. Amant, LLC – Lot A-3-A-1
- 2) Pit Stop Storage, LLC – Lot A-5-A

Commission Action: Moved by Mr. Aaron Chaisson, seconded by Mr. Morrie Bishop and unanimously adopted, to approve the consent agenda.

VIII. Public Hearing to Approve or Deny the Following Family Partition:

A) Vivian G. Villenurve Property – Lots 2-A-2-A-1 and 2-A-2-A-2

The subject property is located on the north side of LA Hwy 934 (Black Bayou Road) approximately 1,100 feet east of Roddy Road in Council District 9 and is zoned Medium Intensity Residential (RM). The application is on behalf of Vivian G Villenurve by W. J. Cointment Surveyors.

The owner is proposing a family partition of an 11.27 acre tract (Lot 2-A-2-A) into Lot(s) 2-A-2-A-1 (10.07 acres) and 2-A-2-A-2 (1.20 acres). The applicant will retain Lot 2-A-2-A-1 and transfer Lot 2-A-2-A-2 to their daughter. Lot 2-A-2-A-2 will be accessed by a proposed 30' servitude of passage off of Decoteau Road and will include a 12' utility servitude as required.

STAFF REVIEW COMMENTS

Comments sent to W. J. Cointment by email on 10-7-16:

1. *Remove repeated drainage ditch note.*
2. *Note what relation Kaci Denise Melancon (Lot 2-A-2-A-2) is to applicant.*

All other items as per ordinance have been addressed on the plat along with the required notes, labels, setbacks and servitudes as per Paragraph 17-406 of the Subdivision Regulations.

The servitude of access and utility servitude off of Decoteau Road pass through existing Lot 2-A-2-B which was subdivided off of Lot 2-A-2-A in June of 2012. This lot is still owned by Mrs. Villenurve, therefore no predial servitude agreement will be necessary.

STAFF RECOMMENDATIONS

This property division appears to follow the intent of the family partition section of the ordinance. The owner(s) have owned the property for at least three years or prior to January 1, 2015 as required by Paragraph 17-4026.B. In the event the commission concurs with the staff analysis, staff recommends approval contingent on addressing the two comments on the final map as listed above and all of the required conveyance documents being completed and recorded according to Paragraph 17-4026.F of the Subdivision Regulations.

Mr. Clint Cointment with W. J. Cointment Surveyors presented this family partition.

Public hearing was opened.

No comments.

Public hearing was closed.

Commission Action: Moved by Mr. Morrie Bishop, seconded by Mr. Anthony Christy and unanimously adopted, to approve this family partition as presented.

IX. Public Hearing to Approve or Deny the Following Mobile Home Park:

A) Family Court Mobile Home Park Expansion

PUBLIC HEARING FOR GRANTING PRELIMINARY APPROVAL TO THE MOBILE HOME PARK SITE PLAN EXPANSION

B. M. Aguillard and Associates, LLC
(Council District 10)

This item was pulled from the agenda prior to meeting by the developer.

X. Public Hearing to Approve or Deny the Following Subdivision Final Plat:

A) Hidden Farms

The subject property is located at the end of Brown Road approximately 2,800 feet northeast of LA Hwy 73 in Council District 7 and is zoned Medium Intensity (RM). The application is on behalf of Dantin Bruce Development, LLC by Centerline Engineering & Land Surveying, LLC.

The property is 56 acres and is a major subdivision containing 142 single family lots. Typical lot widths range from 50 to 70 feet; and have a minimum size of 6,250 square feet. The subdivision includes 2.8 acres of designated park space and complies with the major subdivision regulations.

Project Timeline:

- August 12, 2015 -Planning Commission approves the preliminary plat
- January 12, 2016- Construction plans approved.
- October 27, 2016 Final Inspection Performed

STAFF/ERA FINAL PLAT REVIEW COMMENTS (see attached Final Plat Comments) ATTACHMENT A

ENGINEERING DEPT/ERA OUTSTANDING ITEMS: See attached punch list from final inspection. ATTACHMENT B

STAFF RECOMMENDATIONS

Staff recommends approval contingent upon satisfactory completion of all outstanding final plat comments and punch list items.

Note: Signature by the Planning Commission Chairman shall be withheld until all items have been completed as noted.

Mr. Ross Bruce with Dantin Bruce Development, LLC presented this subdivision final plat.

Public hearing was opened.

No comments.

Public hearing was closed.

Commission Action: Moved by Mr. Edward Dudley, seconded by Mr. Morrie Bishop and unanimously adopted, to approve this final subdivision plat contingent on the drainage servitude issue being resolved and the right-of-way recommended by Council be placed on plat as well as the final figure for the sewer impact fee being placed on the plat before signature.

B) Legacy Oaks – Second Filing

The subject property is located between West Main Street and Cornerview Road, in Council District 3 and zoned Medium Intensity (RM). The application is on behalf of Legacy Oaks, LLC by Quality Engineering and Surveying, LLC. The property consists of a total 19.5+/- acres. The applicant has submitted the Final Plat for the Second Filing creating 75 single family residential lots, varying in width between 50, 60, and 70 feet, and having a minimum size of 6,250 square feet. The total filing includes 10.18 acres of common area consisting of ponds and designated park space, and complies with the major subdivision regulations.

The applicant received a variance with reference to:

Paragraph 17-4020.E.1 of the Subdivision Regulations– *Block lengths shall not exceed the standards as set in Table ‘C’, for Legacy Lake Drive.*

Project Timeline:

- November 12, 2014 -Planning Commission approves the preliminary plat
- July 28, 2015- Construction plans approved.
- October 31, 2016 Final Inspection Performed

STAFF/ERA FINAL PLAT REVIEW COMMENTS (see attached Final Plat Comments) ATTACHMENT C

ENGINEERING DEPT/ERA OUTSTANDING ITEMS: Punch list from final inspection was not available prior to packets going out. The Punch List will be made available to Commissioner’s prior to the meeting. ATTACHMENT D

STAFF RECOMMENDATIONS

Staff recommends approval contingent upon satisfactory completion of all outstanding final plat comments and punch list items.

Note: Signature by the Planning Commission Chairman shall be withheld until all items have been completed as noted.

Mr. Jimmy Percy with Jones Walker presented this final subdivision plat on behalf of the developer. Mr. Percy stated all punch list items have been completed except for the electricity to the already constructed sewer treatment facility and the completion of the walking trail. Both are expected to be completed by the end of next week.

Public hearing was opened.

No comments.

Public hearing was closed.

Commission Action: Moved by Mr. Aaron Chaisson, seconded by Mr. Douglas Foster and unanimously adopted, to approve this final subdivision plat contingent on a) the electricity to the already constructed sewer treatment facility be connected and tested as operable; b) the completion of the walking trail.

C) Ascension Commerce Center – 5th Filing

Quality Engineering & Surveying, LLC
(Council District 3)

This item was pulled prior to meeting by the engineer.

D) Hidden Cove

The subject property is located on LA Hwy 44 approximately 990 feet south of Bertville Road, in Council District 5 and zoned Medium Intensity (RM). The application is on behalf of Hidden Cove, LLC by MR Engineering and Surveying, LLC.

The property is 12.125 acres and the applicant is proposing a subdivision consisting of 35 single family residential lots, varying in width between 57 and 90 feet, and having a minimum size of 7,860 square feet. The subdivision will include 1.25 acres of common area, including .7 acres of designated park space and complies with the major subdivision regulations.

Project Timeline:

- January 14, 2015 -Planning Commission approves the preliminary plat
- August 27, 2015- Construction plans approved.
- October 27, 2016 Final Inspection Performed

The intent of the developer is to secure a bond for the amount of the project not yet completed in order to have the final plat signed prior to final inspection and completion of all construction items. Should the bond route be acceptable to the Commission, the final plat will be held for signing and recordation until the bond is approved and executed. Once all construction items have been completed, a final inspection held and the project is completed to the satisfaction of the Parish along with all of the proper paperwork and documentation, the bond will be released.

STAFF/ERA FINAL PLAT REVIEW COMMENTS (see attached Final Plat Comments)

Additional Comment not fully addressed in attachment – ATTACHMENT E

1. Consultant has provided Carl Ladmirault in the Utilities Department information on detail costs to get the final amount each lot will pay on the

credits are enough to offset the sewer development fee. Consultant shall revise the note on the Final Plat to read, “*The Sewer Development Fee Has Been Paid in Full by the Developer*”.

ENGINEERING DEPT/ERA OUTSTANDING ITEMS: See attached punch list from final inspection.

Additional Comment not fully addressed in attachment – ATTACHMENT F

1. Install Landscape plant materials as specified in the park space, or include in the performance bond amount.

STAFF RECOMMENDATIONS

Should the Commission agree, the Staff recommends approval contingent upon satisfactory execution of a Performance Bond for 125% of the total remaining construction cost. Upon completion of all final inspections with the required paperwork, documentation and completion of all outstanding punch list items, the bond will be released.

Note: Signature by the Planning Commission Chairman shall be withheld until all items have been completed as noted.

Mr. Mickey Robertson with MR Engineering & Surveying, LLC presented this final subdivision plat.

A Performance Surety Bond in the amount of \$247,720.00 has been posted for water mains, electric lines, wood fencing, sewer treatment plant and pump station. The duration of the bond is one-hundred twenty (120) days.

Public hearing was opened.

No comments.

Public hearing was closed.

Commission Action: Moved by Mr. Edward Dudley, seconded by Mr. Aaron Chaisson and unanimously adopted, to approve this final subdivision plat contingent on the completion of all final inspections and required paperwork.

E) Hollows of Dutchtown – Phase II

The proposed subdivision is located on La Hwy 73 approximately 342 feet north of LA Hwy 621 in Council District 4 and zoned Medium Intensity (RM) and Mixed Use (MU). The application is on behalf of Hollows of Dutchtown, LLC by MR Engineering & Surveying, LLC.

The property consists of 3 tracts of land totaling 74.91 acres. The applicant is submitting the final plat for Phase II consisting of 52 residential lots with a typical size of 65’ x 160’ and an area averaging 10,400 square feet. Once completed, the subdivision is planned to contain 193 lots, 65, 75, and 85 feet in width, with a minimum size of 9,750 square feet. The subdivision will also contain .97 acres of

park space, including a pool and clubhouse (included in Phase I) and complies with the major subdivision regulations.

Project Timeline:

- February 12, 2014 -Planning Commission approves the preliminary plat
- August 13, 2015- Construction plans approved.
- October 27, 2016 Final Inspection Performed

STAFF/ERA FINAL PLAT REVIEW COMMENTS (see attached Final Plat Comments)

Additional comments not included in attachment – ATTACHMENT G

1. Consultant has provided Jurisdictional Wetlands Determination as required.

ENGINEERING DEPT/ERA OUTSTANDING ITEMS: See attached punch list from final inspection. ATTACHMENT H

STAFF RECOMMENDATIONS

Staff recommends approval contingent upon satisfactory completion of all outstanding final plat comments and punch list items.

Note: Signature by the Planning Commission Chairman shall be withheld until all items have been completed as noted.

Mr. Mickey Robertson with MR Engineering & Surveying, LLC presented this final subdivision plat.

A Performance Surety Bond in the amount of \$95,562.00 has been posted for water mains, electric lines and 87 yards of sidewalk. The duration of the bond is one-hundred twenty (120) days.

Public hearing was opened.

No comments.

Public hearing was closed.

Commission Action: Moved by Mr. Aaron Chaisson, seconded by Mr. Morrie Bishop and unanimously adopted, to approve this final subdivision plat as presented.

XI. Staff Report

Mr. Jerome Fournier announced that there will be a Planning Commissioner Training Session held at the Governmental Complex on Saturday, December 10, 2016 at 8:30 a.m. Commissioners that have not yet been trained or those that would like to have a refresher course are invited to attend.

XII. Engineering Staff Report

A) Oaks on the Bluff Estates (formerly Oaks on the Bluff – Phase 3)

Decision on whether to rescind Preliminary Plat approval due to failure of applicant to submit Construction Plans within six (6) month time period.

Mr. Bo Booty with Centerline Engineering & Land Surveying, LLC spoke on behalf of this preliminary subdivision plat.

Public hearing was opened.

No comments.

Public hearing was closed.

No action was made by the Commission; therefore, this project will continue to move forward.

XIII. Adjourn

Moved by Mr. Aaron Chassion and unanimously adopted, meeting adjourned at 6:23 p.m.

Matthew Pryor, Chairman



November 2, 2016

CSRS, INC.
6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808
Phone. (225) 769-0546
Fax. (225) 767-0060

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

RE: **Hidden Farms
Final Plat Review**

Mr. Fournier:

As the Engineering Review Agency for the Ascension Parish Planning Commission, we have reviewed the Final Plat submitted for the above referenced development for compliance with the Ascension Parish Subdivision Regulations and the Ascension Parish Development Code. Shown below are the comments made to the Consulting Engineer for the project as a result of our review of their submittals, as well as a description of their correction or response made to our comments (**shown in bold print**).

1. The revisions to the CD plans dated 5/23/2016 depict Ditch 'A' as having a 40' drainage servitude. However, this is depicted as a 30' drainage servitude on the final plat. Update for consistency with revised construction plans. **Consultant updated this servitude to 79' to meet servitude width requirements (see comment #12).**
2. Provide the letter of no objection for the proposed servitudes within the existing 150' Entergy servitude. The servitude agreement needs to be submitted to the Ascension Parish attorney for review and approval. **Consultant provided letter of no objection from Entergy, but this still needs to be reviewed and approved by the Ascension Parish attorney.**
3. A note is required regarding private ownership and maintenance of lake/pond and shoreline and that Ascension Parish does not own or maintain lake/pond and shoreline. **Consultant provided.**
4. Add note: "All structures shall be constructed a minimum of one foot above FEMA BFE and top elevation of nearest adjacent sanitary sewer manhole on the sewer collection system servicing the proposed structure." **Consultant provided.**
5. Add note: "The sewer system, including but not limited to, all treatment system(s), pump(s), lift station(s), collection lines to the system, both onsite and offsite, and the user of said improvements, are hereby dedicated to the Parish of Ascension." **Consultant provided.**
6. Add note: "One class 'A' tree must be planted prior to C.O. being issued for each lot." **Consultant provided.**

7. Add note: "Sidewalk must be constructed prior to certificate of occupancy being issued for each lot." **Consultant provided.**
8. Per Section 17-4020H-7A, ensure the final plat private dedication note has information describing the park and included amenities. **Consultant provided.**

9. Provide permanent Benchmark on final plat as required by Section 17-4012-A-15 of the Subdivision Regulations. **Consultant provided.**
10. Per Section 17-4045E, all ponds require a minimum 30' drainage servitude width from each inlet to each outlet of the pond. Please update all pond inlet/outlet servitudes to have a 30' width. **Consultant updated.**
11. Add Instrument Numbers for all references that are recorded. Reference 1 is instrument no. 264743. **Consultant provided.**
12. Add scale and north arrow to vicinity map. **Consultant provided.**
13. Revise impact fee note to state: "THIS PROJECT IS SUBJECT TO TRAFFIC IMPACT FEES IN ACCORDANCE WITH ASCENSION PARISH ORDINANCES." **Consultant provided.**
14. Add note stating: "THIS PROJECT IS SUBJECT TO SEWER DEVELOPMENT FEES OF \$??,?? PER LOT IN ACCORDANCE WITH ASCENSION PARISH ORDINANCES." Coordinate with Carl Ladmirault of the Ascension Parish Utilities Dept. to determine final amount and list on plat. **Consultant provided note, but left the exact amount of sewer development fees per lot blank.**
15. Depict/label all existing servitudes (including widths), drainage or otherwise, that are to be revoked and submit paperwork to this office to begin the revocation process. **Consultant did not note any servitudes to be revoked.**
16. Fire Station is Prairieville Station 32 and not 33. **Consultant corrected.**
17. General Notes - The company is call Ascension Water Company, not Ascension Parish Water Company. **Consultant corrected.**
18. Update Hidden Cove final plat to correctly show the adjacent lots that were created in the September 2016 QES resub. **Consultant provided.**
19. Based on the depth of the ditch behind lots 46-58 and approximate top width of 39 ft, a 20 ft wide servitude is required from the top bank of on each side of the ditch. Unless DPW allows a smaller servitude, this ditch needs a 79 ft wide servitude. This servitude would need to be dedicated on the lots of 46-58 and on the adjacent offsite property prior to signing final plat for Hidden Farms. **Consultant provided 79' servitude width. However, 59' of this drainage servitude falls on the adjacent offsite property owned by GRB Properties. Therefore, GRB must approve and dedicate the portion of proposed servitude falling on the offsite property.**

20. Flood zone labels are not in the correct position. **Consultant corrected.**
21. The datum of the benchmark needs to be noted. **Consultant provided.**
22. According to Section 17-4012-C of the Subdivision Regulations, restrictive covenants or trusteeships shall be signed by the owner or agent and recorded in the office of the parish recorder. References to any restrictive covenants should be made on the plat and the consultant should acknowledge that any restrictive covenants are to be made available to the planning commission after recording of the final plat. **Consultant provided restrictions note and stated a copy will be provided upon filing.**
23. According to Paragraph 17-4012.G of the Subdivision Regulations, a Jurisdictional Wetlands Determination is required with any associated maps and other related data, including the official dated letter from the Army Corps of Engineers. Please provide the official determination as required. **Consultant provided.**

The following items should be considered by the Planning Commission in their analysis of the case:

- The letter of no objection for the proposed servitude falling within the 150' Entergy servitude needs to be reviewed and approved by the Ascension Parish attorney.
- A portion of the 79' proposed drainage servitude falls on the offsite adjacent property owned by GRB Properties. This portion of servitude (59') is required to be dedicated by the adjacent property owner.

If you have any questions or comments, please do not hesitate to contact me at (225) 769-0546.

Sincerely,
Engineer Review Agency for the Ascension Parish Planning Commission



Shaun Sherrow, P.E.

CC: Jeffery Cook, P.E., Louisiana Land Engineering LLC



CSRS, INC.
6767 Perkins Road, Suite
200
Baton Rouge, LA 70808
Phone. (225) 769-0546
Fax. (225) 767-0060

October 31, 2016

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

RE: Hidden Farms
Final Inspection Punch List

Dear Mr. Fournier:

The final inspection for the above referenced project was held on 10/27/2016 at 8:00 am. The contractor, the project engineer, inspection department, and DPW were present. By electronic copy of this letter, we are transmitting our comments to the engineer. The engineer or contractor will contact subdivision inspection department when these items are ready for a re-inspection:

Project Closeout

1. Provide the following closeout items if not already provided.
 - a. Provide as-builts that satisfy section 17-4010C of the UDC.
 - b. Provide engineering and testing certifications.
 - c. Provide all testing reports if not already submitted.
 - d. Provide maintenance bond agreement.

Final Plat Items

1. Interior lots show a 15' public drainage servitude at the rear of the lots although no proposed drainage improvements are proposed in the construction plans. Either change to 15' Private Drainage Servitude or remove servitude all together.
2. The lots were graded per the approved grading plan which shows that the interior lots are to drain from rear to front rather than using "turtle back" drainage concept. Put the typical lot grading graphic from grading plan on the final plat along with proper notes to ensure that future lot owners and building department understand the design drainage patterns for these lots.

Drainage

1. Provide rip rap at the end of pond outfall pipes as shown in the construction plans.
2. Provide as-built survey to confirm that the proposed ditch behind lots 46-58 is graded with the proper cross slope of 5:1 as shown on the approved construction plans.
3. Based on the depth of the ditch behind lots 46-58 and approximate top width of 39 ft, a 20 ft wide servitude is required from the top bank of on each side of the ditch. Unless DPW allows a smaller servitude, this ditch needs a 79 ft wide servitude. This servitude would need to be dedicated on the lots of 46-58 and on the adjacent offsite property prior to signing final plat for Hidden Farms.

4. Per section 17-5014A, any encroachment within a drainage servitude that may inhibit maintaining storm water drainage, as determined by DPW, is prohibited. There is a new fence that runs along the top bank of the ditch behind lots 46-58. DPW needs to be contacted to determine if this fence inhibits maintenance of the ditch.

Sanitary Sewer

1. Fix broken sewer stack at lot 26 and any others that are damaged.
2. Provide DHH approval for pump station and discharge location.
3. Complete electric tie-in to pump station and provide a start-up test for inspector.

Landscape Requirements

1. Install handicap ramps and all sidewalk that is along common areas.

Roadway

1. Change street name signs for Sunset Park Avenue to Sunset Park Drive to match plat and approved construction plans.
2. Fix busted curb that is 200 ft south of Cotton Creek Ave.
3. Fix damaged asphalt areas that are located near Cotton Creek Ave./Brown Road Intersection and Sunset Park Drive/Brown Road Intersection.

Lots/grading

1. None.

Utilities

1. None.

Erosion Control

1. Provide silt fence along rear property line of lots 23-25 until grass has been established.
2. Complete seeding disturbed areas.
3. The developer/owner must continue to maintain erosion control measures as stipulated by the owner's SWPPP.

Do not hesitate to contact me should you have any questions.

Sincerely,

Engineering Review Agency for the Ascension Parish Planning Commission



Shaun Sherrow, P.E., PMP

cc: (via email) Jeff Cook, PE, Louisiana Land Engineering , LLC



Attachment C

November 2, 2016

CSRS, INC.
6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808
Phone: (225) 769-0546
Fax: (225) 767-0060

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

**RE: Legacy Oaks- 2nd Filing
Final Plat Review**

Mr. Fournier:

As the Engineering Review Agency for the Ascension Parish Planning Commission, we have reviewed the Final Plat submitted for the above referenced development for compliance with the Ascension Parish Subdivision Regulations and the Ascension Parish Development Code. Shown below are the comments made to the Consulting Engineer for the project as a result of our review of their submittals, as well as a description of their correction or response made to our comments (shown in bold print).

Final Plat Comments:

1. Add note: "All structures shall be constructed a minimum of one foot above FEMA BFE and top elevation of nearest adjacent sanitary sewer manhole on the sewer collection system servicing the proposed structure." **Consultant did not provide note.**
2. Add note: "Lots 121 thru 127 will not have direct access to Cornerview Road." **Consultant provided.**
3. Show the 17' proposed drainage servitude for the swale along the rear of lots 101 through 121 as depicted in the approved construction plans. **Consultant provided.**
4. Label the 10' utility servitude between lots 99 and 100 as depicted on the approved construction plans. **Consultant provided.**
5. The correct street name per the approved construction plans is "Legacy Lake Drive." Update plat street names to exactly match plans. **Consultant provided.**
6. Show Filing 1 and Filing 2 line boundaries. **Consultant provided.**
7. Depict the 17' drainage servitudes between lots 116 & 117, 59 & 60, 55 & 56, 66 & 67, 73 & 74, 77 & 78, and 82 & 83 as shown in the approved construction plans. **Consultant provided.**
8. Provide labels for flood zones. **Consultant provided.**

9. The landowner's name should be corrected to 'Adam Kurz.' **Consultant provided.**
10. Provide curve information of all curved boundaries. **Consultant provided.**
11. Confirm that the existing 20' access servitude only spans the rear of lots 112 and 113. This servitude should be revoked. **Consultant removed from plat, but did not make statement or note that this servitude is to be revoked.**
12. Add note: "The sewer system, including but not limited to, all treatment system(s), pump(s), lift station(s), collection lines to the system, both onsite and offsite, and the user of said improvements, are hereby dedicated to the Parish of Ascension." **Consultant provided.**
13. Add note: "This project is subject to traffic impact fees in accordance with Ascension Parish ordinances." **Consultant provided.**
14. Add date and instrument number 907054 to reference (A). **Consultant provided.**
15. Add note: "One class 'A' tree must be planted prior to C.O. being issued for each lot." **Consultant provided.**
16. Coordinate with Ascension Parish Utilities Department to determine final Sewer Development fee to be paid for each lot and list on plat (Note 8). **Consultant noted that the Sewer Development fee has already been paid by the subdivision developer.**
17. Change note on schools to read G.W. Carver for primary and Gonzales Middle for elementary. **Consultant provided.**
18. Thirty-foot drainage servitudes are required from each inlet to each outlet of all detention ponds. Please extend as required by Section 17-4045 of the Subdivision Regulations. **Consultant stated the pond servitude widths are existing and not a part of this filling's final plat.**
19. Add chart/note showing preserved oak trees with credits vs. requirements. **Consultant provided.**
20. Include note stating the developer is to install signage identifying private park space as such and under the ownership/maintenance of the HOA. **Consultant provided.**
21. Per Section 17-4020H-7A, provide a final plat private dedication note for all common areas and ensure the note has information describing the park and included amenities. Ex: "The common area C-A-1 shown hereon is dedicated to the exclusive use and enjoyment of the residents of Legacy Oaks. All maintenance shall be provided by the Legacy Oaks Association. DPW shall not be responsible for the maintenance or upkeep of the lakes, shoreline, or and other common areas." **Consultant provided.**

22. The tract (currently C-A-1) between lots 122 and 123 does not have uninterrupted continuity with the large pond tract (C-A-1). Because this cannot be considered one whole piece, this tract should be renamed. **Consultant renamed separate tract to 'C-A-3.'**
23. Provide permanent Benchmark on final plat as required by Section 17-4012-A-15 of the Subdivision Regulations. **Consultant provided.**
24. According to Section 17-4012-C of the Subdivision Regulations, restrictive covenants or trusteeships shall be signed by the owner or agent and recorded in the office of the parish recorder. References to any restrictive covenants should be made on the plat and the consultant should acknowledge that any restrictive covenants are to be made available to the planning commission after recording of the final plat. **Consultant provided restrictive covenant note.**

The following items should be considered by the Planning Commission in their analysis of the case:

- No comments.

If you have any questions or comments, please do not hesitate to contact me at (225) 769-0546.

Sincerely,

Engineer Review Agency for the Ascension Parish Planning Commission



Shaun Sherrow, P.E.

CC: Deric J. Murphy, P.E., L.S.I., Quality Engineering & Surveying, LLC



Attachment D

CSRS, INC.
6767 Perkins Road, Suite 200
Baton Rouge, LA 70808
Phone: (225) 769-0546
Fax: (225) 767-0060

November 3, 2016

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

RE: Legacy Oaks Phase 2
Final Inspection Punch List

Dear Mr. Fournier:

The final inspection for the above referenced project was held on 10/31/2016 at 9:30 am. The contractor, the project engineer, inspection department, and DPW were present. By electronic copy of this letter, we are transmitting our comments to the engineer. The engineer or contractor will contact subdivision inspection department when these items are ready for a re-inspection:

Project Closeout

1. Provide the following closeout items if not already provided.
 - a. Provide as-builts that satisfy section 17-4010C of the UDC.
 - b. Provide engineering and testing certifications.
 - c. Provide all testing reports if not already submitted.
 - d. Provide maintenance bond agreement.

Final Plat Items

1. None.

Drainage

1. Cut projecting plastic pipe in junction box G-1.

Sanitary Sewer

1. None

Landscape Requirements

1. Complete installation of walking trail.
2. Complete installation of park sign.

Roadway

1. Fix gouge in roadway between lot 84 and lot 6.
2. Fix busted sidewalk at lot 74.



CSRS, INC.
6767 Perkins Road, Suite 200
Baton Rouge, LA 70808
Phone. (225) 769-0546
Fax. (225) 767-0060

Lots/grading

1. None.

Utilities

1. Complete flushing of water lines

Erosion Control

1. The developer/owner must continue to maintain erosion control measures as stipulated by the owner's SWPPP.

Do not hesitate to contact me should you have any questions.

Sincerely,
Engineering Review Agency for the Ascension Parish Planning Commission

Shaun Sherrow, P.E., PMP

cc: (via email) Deric Murphy, P.E., L.S.I. ; Joey Tureau, P.E.



Attachment E

November 1, 2016

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

CSRS, INC.
6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808
Phone (225) 769-0546
Fax (225) 767-0060

RE: **Hidden Cove
Final Plat Review**

Mr. Fournier:

As the Engineering Review Agency for the Ascension Parish Planning Commission, we have reviewed the Final Plat submitted for the above referenced development for compliance with the Ascension Parish Subdivision Regulations and the Ascension Parish Development Code. Shown below are the comments made to the Consulting Engineer for the project as a result of our review of their submittals, as well as a description of their correction or response made to our comments (**shown in bold print**).

Final Plat Comments:

1. Add note: "All structures shall be constructed a minimum of one foot above FEMA BFE and top elevation of nearest adjacent sanitary sewer manhole on the sewer collection system servicing the proposed structure." **Consultant provided.**
2. The drainage servitude between lots 5 and 6 is noted as 15 feet on the final plat, however, on the approved construction plans it is noted as 16.5'. Update plat to reflect approved construction plans. **Consultant removed servitude.**
3. Detail B notes the drainage servitude on the side of lot 25 as 16.5', but the layout notes this as 15'. Revise for consistency. **Consultant corrected.**
4. Add date and instrument number 398996 to reference map 1. **Consultant provided.**
5. Add instrument number to reference map 2. **Consultant provided.**
6. Add note: "The sewer system, including but not limited to, all treatment system(s), pump(s), lift station(s), collection lines to the system, both onsite and offsite, and the user of said improvements, are hereby dedicated to the Parish of Ascension." **Consultant provided.**
7. Add note: "One class 'A' tree must be planted prior to C.O. being issued for each lot." **Consultant provided.**
8. Add note: "Sidewalk must be constructed prior to certificate of occupancy being issued for each lot." **Consultant provided.**

9. Per Section 17-4020H-7A, ensure the final plat private dedication note has information describing the park and included amenities. **Consultant provided.**
10. Provide permanent Benchmark on final plat as required by Section 17-4012-A-15 of the Subdivision Regulations. **Consultant provided.**

11. According to Section 17-4012-C of the Subdivision Regulations, restrictive covenants or trusteeships shall be signed by the owner or agent and recorded in the office of the parish recorder. References to any restrictive covenants should be made on the plat and the consultant should acknowledge that any restrictive covenants are to be made available to the planning commission after recording of the final plat. **Consultant did not acknowledge at this time.**
12. According to Paragraph 17-4012.G of the Subdivision Regulations, a Jurisdictional Wetlands Determination is required with any associated maps and other related data, including the official dated letter from the Army Corps of Engineers. Please provide the official determination as required. **Consultant did not provide at this time.**

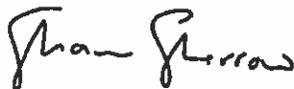
The following items should be considered by the Planning Commission in their analysis of the case:

- No comments.

If you have any questions or comments, please do not hesitate to contact me at (225) 769-0546.

Sincerely,

Engineer Review Agency for the Ascension Parish Planning Commission



Shaun Sherrow, P.E.

CC: Mickey Robertson, P.E., P.L.S., MR Engineering & Surveying, LLC

November 1, 2016

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

RE: Hidden Cove
Final Inspection Punch List

Dear Mr. Fournier:

The final inspection for the above referenced project was held on 10/27/2016 at 11:00 am. The contractor, the project engineer, inspection department, and DPW were present.

By electronic copy of this letter, we are transmitting our comments to the engineer. The engineer or contractor will contact subdivision inspection department when these items are ready for a re-inspection:

Project Closeout

1. Provide the following closeout items if not already provided.
 - a. Provide as-builts after the punch list items have been provided.
 - b. Provide engineering certification.
 - c. Provide testing lab certification.
 - d. Provide all testing reports if not already submitted.
2. Any applicable sewer agreement with the Parish needs to complete prior to the Final Plat being signed.

Drainage

1. Install rip-rap at all outfalls
2. Install erosion control matting at emergency overflow weir east of the pond.
3. Add a swale ditch along the south property line from lot 33 to the edge of the property that ties-in to the drainage ditch adjacent to the east property line. The berm on the south side of the pond should be reduced in width to accommodate the swale ditch.
4. Remove all segments of plastic pipe that project into the drainage boxes. Grout any projecting RCP pipe to create a smooth transition from the wall of the drainage box to the pipe.

Sanitary Sewer

1. Install treatment plant.

Landscape Requirements

1. Install landscaping (fence) to block vehicle headlights east of lot 14 and west of lot 26 as required with preliminary plat approval.

Roadway

1. Shoot elevations on the T-turnaround to determine if water ponds on the east curb of the T-turnaround. It appeared that the T-turnaround had a crown to prevent water from draining west.
2. Install sidewalk in common areas CA-2, CA-1, and TRACT STP per the plans. Coordinate with design engineer on sidewalk offset from BOC.
3. Verify that signs meet the requirement for minimum signage height.

Lots/grading

1. No comments

Utilities:

2. Install water
3. Install electric utilities

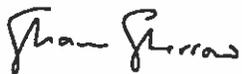
Erosion Control

1. Hydro-seed all areas in pond tract.
2. Install inlet sediment protection.
3. Implement erosion control measures as stipulated by the owner's SWPPP.

Do not hesitate to contact me should you have any questions.

Sincerely,

Engineering Review Agency for the Ascension Parish Planning Commission



Shaun Sherrow, P.E., PMP

cc: (via email) Chad Stevens, P.E., LSI, MR Engineering and Surveying, LLC; Joey Tureau, PE,



Attachment 6

November 1, 2016

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

CSRS, INC.
6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808
Phone (225) 769-0546
Fax (225) 767-0060

**RE: Hollows of Dutchtown- Phase II
Final Plat Review**

Mr. Fournier:

As the Engineering Review Agency for the Ascension Parish Planning Commission, we have reviewed the Final Plat submitted for the above referenced development for compliance with the Ascension Parish Subdivision Regulations and the Ascension Parish Development Code. Shown below are the comments made to the Consulting Engineer for the project as a result of our review of their submittals, as well as a description of their correction or response made to our comments (**shown in bold print**).

Final Plat Comments:

1. Add note: "All structures shall be constructed a minimum of one foot above FEMA BFE and top elevation of nearest adjacent sanitary sewer manhole on the sewer collection system servicing the proposed structure." **Consultant provided.**
2. Note if the 67.25' drainage servitude on Tract CA-3 is public or private. **Consultant noted as public.**
3. Label any servitudes as "existing" as applicable. **Consultant provided.**
4. Depict pond limits on Tract P-2. **Consultant provided.**
5. Label the drainage servitude on the side of Lot 114. **Consultant provided.**
6. Add instrument number 905102 to reference map 2. **Consultant provided.**
7. Add note: "ONE CLASS 'A' TREE MUST BE PLANTED PRIOR TO C.O. BEING ISSUED FOR EACH LOT." **Consultant provided.**
8. Add note: "SIDEWALK MUST BE CONSTRUCTED PRIOR TO CERTIFICATE OF OCCUPANCY BEING ISSUED FOR EACH LOT." **Consultant provided.**
9. Add note: "THE SEWER SYSTEM, INCLUDING BUT NOT LIMITED TO, ALL TREATMENT SYSTEM(S), PUMP(S), LIFT STATION(S), COLLECTION LINES TO THE SYSTEM, BOTH ONSITE AND OFFSITE, AND THE USER OF SAID IMPROVEMENTS, ARE HEREBY DEDICATED TO THE PARISH OF ASCENSION." **Consultant provided.**

10. Total number of lots is 52 and not 51 as shown. **Consultant corrected to 52 lots.**
11. Per Section 17-4020-H-7-a, ensure final plat Private Dedication note has information describing the park and the included amenities. **Consultant provided.**
12. Provide permanent Benchmark on Final Plat as required by Section 17-4012-A-15 of the Subdivision Regulations. **Consultant provided.**
13. According to Section 17-4012-C of the Subdivision Regulations, restrictive covenants or trusteeships shall be signed by the owner or agent and recorded in the office of the parish recorder. References to any restrictive covenants should be made on the plat and the consultant should acknowledge that any restrictive covenants are to be made available to the planning commission after recording of the final plat. **Consultant did not acknowledge at this time.**
14. According to Section 17-4012-G of the Subdivision Regulations, a Jurisdictional Wetlands Determination is required with any associated maps and other related data, including the official dated letter from the Army Corps of Engineers. Please provide the official determination as required. **Consultant did not provide at this time.**

The following items should be considered by the Planning Commission in their analysis of the case:

- No comments.

If you have any questions or comments, please do not hesitate to contact me at (225) 769-0546.

Sincerely,

Engineer Review Agency for the Ascension Parish Planning Commission



Shaun Sherrow, P.E.

CC: Mickey Robertson, P.E., P.L.S., MR Engineering & Surveying, LLC



Attachment H

CSRS, INC.
6767 Perkins Road, Suite
200
Baton Rouge, LA 70808
Phone: (225) 769-0546
Fax: (225) 767-0060

October 31, 2016

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

RE: Hollows at Dutchtown, 2nd Filing
Final Inspection Punch List

Dear Mr. Fournier:

The final inspection for the above referenced project was held on 10/27/2016 at 9:30 am. The contractor, the project engineer, inspection department, and DPW were present. By electronic copy of this letter, we are transmitting our comments to the engineer. The engineer or contractor will contact subdivision inspection department when these items are ready for a re-inspection:

Project Closeout

1. Provide the following closeout items if not already provided.
 - a. Provide as-builts that satisfy section 17-4010C of the UDC.
 - b. Provide engineering and testing certifications.
 - c. Provide all testing reports if not already submitted.
 - d. Provide maintenance bond agreement.

Final Plat Items

1. None.

Drainage

1. None.

Sanitary Sewer

1. Complete electric tie-in to pump station and provide a start-up test for inspector.

Landscape Requirements

1. None.

Roadway

1. Considering that lots CA-3 and CA-4 are in the transition zone between phases 2 and 3 and work will be needed on these lots to address Phase 3 items, the required sidewalk and ramps on these two lots can be installed during phase 3 construction.
2. Install roadway sidewalk in the open space area of Tract P-2 that is between lots 133 and 114.

3. Install required sidewalk that is on non-buildable lots around the Whispering Hollow Ave. t-turnaround.
4. Install street signs
5. Complete applying expansion material in expansion joints of curbs.

Lots/grading

1. None.

Utilities

1. Complete installation of water
2. Complete installation of electric

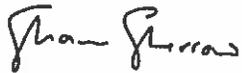
Erosion Control

1. Complete seeding disturbed ditch along north property line and other disturbed slopes.
2. The developer/owner must continue to maintain erosion control measures as stipulated by the owner's SWPPP.

Do not hesitate to contact me should you have any questions.

Sincerely,

Engineering Review Agency for the Ascension Parish Planning Commission



Shaun Sherrow, P.E., PMP

cc: (via email) Chad Stevens, P.E., LSI, MR Engineering and Surveying, LLC; Joey Tureau, PE,



Description: Affidavit of Mortgage Declaration

Adam Fox - Lot LG-2-A-2 (12021 Laurel Ridge Rd, St. Amant, LA)

ATTACHMENTS:

Description

Adam Fox

Upload Date

12/2/2016

Type

Cover Memo

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



December 14, 2016

A) Adam Fox – Lot LG-2-A-2 (12021 Laurel Ridge Rd, St. Amant, LA)
Affidavit of Mortgage Declaration

Staff has reviewed and approved this simple division of property. The lending institution has been notified via certified mail that the loan holder wishes to subdivide his/her property. The Planning Department has not yet received a response.

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



October 25, 2016

Carville Employees Federal Credit Union
5445 Point Clair Road
Carville, LA 70721

RE: Application to Subdivide Lot LG-2-A-2, 12021 Laurel Ridge Road, St. Amant, LA 70774 (Adam Fox)

To whom it may concern:

Pursuant to Ascension Parish Ordinance SR12-11, passed by Parish Council on 19 March 2013, the Planning and Development Department is notifying you, as the lending institution holding a mortgage on Lot LG-2-A-2 for Adam Fox (12021 Laurel Ridge Road, St. Amant, LA 70774), that the applicant has applied through our office to subdivide his or her property.

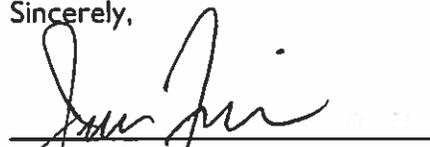
As defined by the ordinance, you may submit a letter of objection or no objection to our office by December 6, 2016 or can appear at a public hearing on December 14, 2016 to hear the proposed subdivision and be given the opportunity to make a presentation to the Planning Commission as to whether or not the proposed division of property should be approved.

If no letter is received by the date listed above, the item will appear on the Planning Commission agenda at the date and time listed above, as a consent agenda item, and will be approved if no one from your institution is present to object.

Please find attached a copy of the affidavit of mortgage verification received from the applicant by our office which further describes the property and loan information.

If you require additional information or have any questions, feel free to email or give me a call.

Sincerely,



Jerome Fournier
Director of Planning and Development
jfournier@apgov.us

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



- Name of the Borrower (debtor on the mortgage)
Adam Fox
- Account number or Reference number
2313861
- Borrower's municipal address
12021 Laurel Ridge Road St. Amant LA 70774
- Municipal address of the property (if different from the Borrower's address)
LG-2-A-2
- Lot Number and Square Number (if appropriate) of the property subject to mortgage
- Name of Subdivision in which the property is located
- Township, Range , Section Number and Acreage (if appropriate) of the property
Sec. 20, T9S, R4E

The applicant acknowledges that he/she has verified the truthfulness of the above described statement regarding the Declaration(s) of Mortgage(s) or lien(s) on the property which he/she requests to be subdivided.

The Applicant acknowledges that providing false information in completing this document may result in civil fines in accordance with the rules and regulations of the Ascension Parish Land Development Code, not to exceed \$500.00 per day for such violation, with each day the false statement exists without correction to be a separate violation; and/or forwarded for prosecution for violation of La. R.S. 14:133 A. (3) which states in pertinent part:

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Filing false public records is the filing or depositing in any public office or with any public official, or the maintaining as required by law, regulation, or rule, with knowledge of its falsity, of any of the following:

- (3) Any document containing a false statement or false representation of material fact.

The penalty for violation of La. R.S. 14:133 as provided in Section (C) states:

“Whoever commits the crime of filing false public records shall be imprisoned for not more than five years with or without hard labor or shall be fined not more than five thousand dollars, or both.”

I have read the above and have verified the above described information to be true and correct.

THUS SWORN, DONE, AND SIGNED on the 14th day of September, 2016

WITNESS:

[Signature]

Printed Name: James H. Fajant

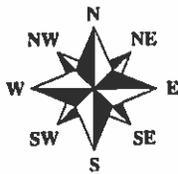
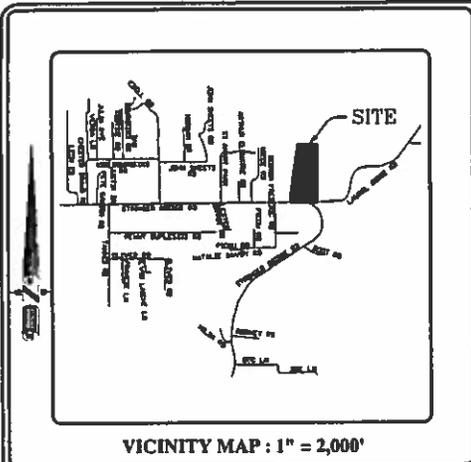
APPLICANT:

Adam Fox

Printed Name: Adam Fox

[Signature]
NOTARY
Clint Coiment
Printed Name:
77517
Notary # or La. Bar #





REFERENCE MAP:

- 1) MAP SHOWING SURVEY FOR THE LLOYD GUITREA ESTATE SURVEYED BY EARLES & ASSOCIATES DATED JANUARY 29, 1999, RECORDED AS INSTRUMENT # 437948.
- 2) MAP SHOWING SURVEY FOR SAM FOX SURVEYED BY EARLES & ASSOCIATES, LLC DATED MAY 13, 2013, RECORDED AS INSTRUMENT # 628047.
- 3) MAP SHOWING SURVEY FOR ADAM FOX SURVEYED BY EARLES & ASSOCIATES, LLC DATED AUGUST 14, 2013, RECORDED AS INSTRUMENT # 833174.

• BASE BEARING = • N08°09'46" E FROM REFERENCE MAP #1.

THIS SURVEY CONFORMS TO CURRENT STANDARDS OF PRACTICE AS DEFINED IN TITLE 48, CHAPTER 29 OF PROFESSIONAL AND OCCUPATIONAL STANDARDS FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

THIS PROPERTY IS ZONED = RURAL (R)'

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP NO. 22005C 0130 E FOR ASCENSION PARISH, MAP DATED AUGUST 18, 2007, THIS PROPERTY LIES IN FLOOD HAZARD ZONE = AE'.

BASE FLOOD ELEV. = 8.0'

SEWER DISPOSAL SHALL BE INDIVIDUAL SANITARY SEWER PLANTS.

SOURCE OF WATER SUPPLY SHALL BE APPROVED BY THE ASCENSION PARISH HEALTH UNIT.

NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE LOCAL HEALTH AUTHORITY.

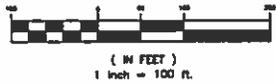
ANY NEW DRAINAGE DITCH REQUIRED BY THE SUBDIVISION OF THIS PROPERTY FOR THE PURPOSE OF TRANSPORTING RUNOFF OR SEWAGE TREATMENT PLANT EFFLUENT TO AN EXISTING PARISH MAINTAINED DITCH SHALL BE CONSTRUCTED AND MAINTAINED BY THE PROPERTY OWNER(S).

THE STREETS AND RIGHTS OF WAY SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USES. AREAS SHOWN AS SERVICED ARE GRANTED TO THE PUBLIC FOR THE USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL OR OTHER PROPER PURPOSES FOR THE GENERAL USE OF THE PUBLIC. NO BUILDING, STRUCTURE OR FENCE SHALL BE CONSTRUCTED AND NO SHRUBBERY PLANTED WITHIN THE LIMITS OF ANY SERVIDE SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVIDE IS GRANTED.

ADAM FOX _____ DATE _____
 SAMUEL FOX _____ DATE _____

PRELIMINARY SIMPLE DIVISION

MAP SHOWING SURVEY OF
 LOT LG2A1-A & LOT LG2A2-A,
 BEING THE RESUBDIVISION OF LOT LG2A1 & LT LG2A2,
 FORMERLY A PORTION OF THE LLOYD GUITREA PROPERTY,
 LOCATED IN SECTION 20, T8S - R4E, SOUTHEASTERN LAND DISTRICT,
 EAST OF THE MISSISSIPPI RIVER, ASCENSION PARISH, LA.
 FOR
 ADAM FOX & SAMUEL FOX



LEGEND:

- 1/2" IRON PIPE FOUND OR AS SHOWN
- 1/2" IRON ROD SET
- CALCULATED POINT
- - - - - FENCELINE

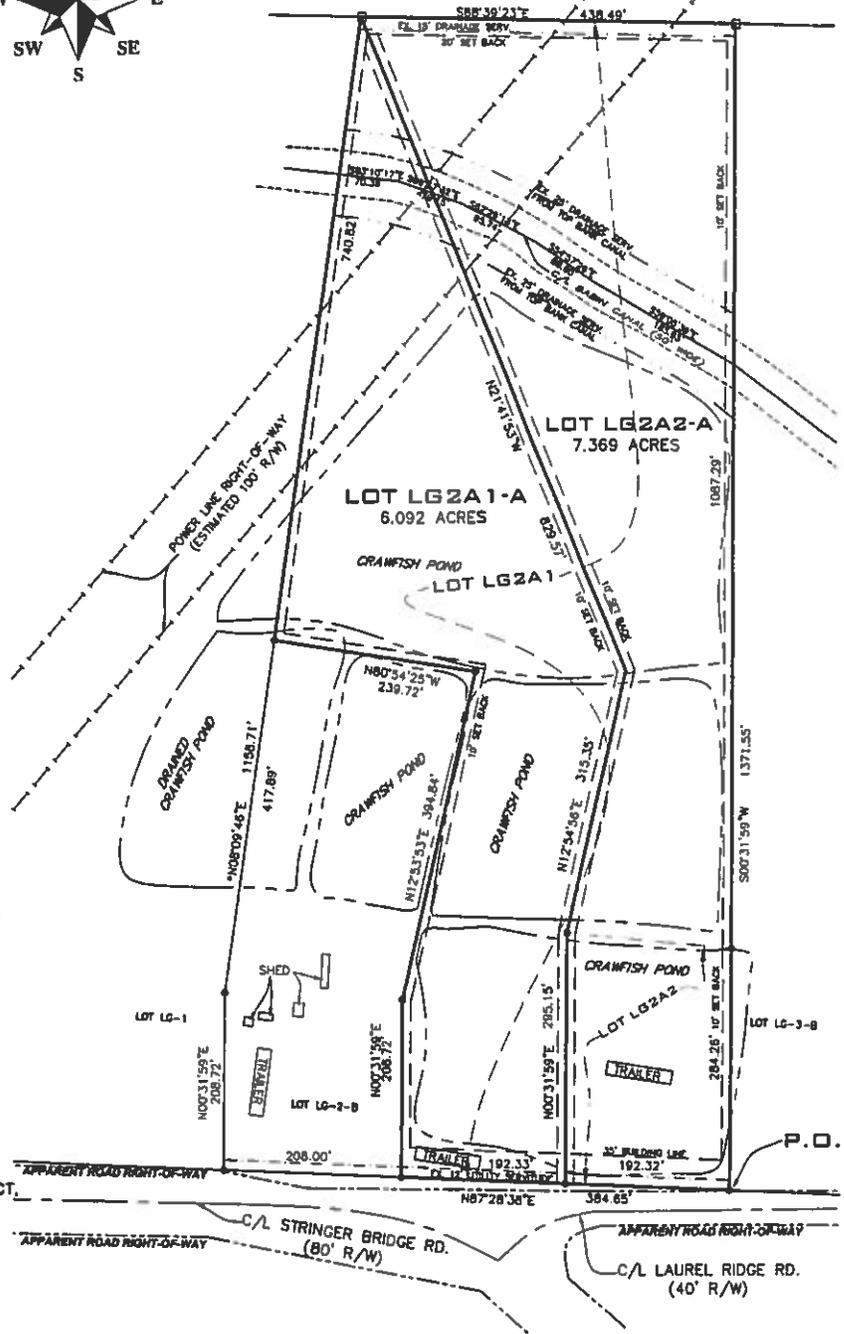
APPROVED:
 ASCENSION PARISH PLANNING COMMISSION

CHAIRMAN _____
 DATE: _____
 FILE: _____

** LOT LG-2-A WAS NOT SURVEYED, SHOWN AS REFERENCE ONLY.

I CERTIFY THAT IN OCTOBER 2018, EARLES AND ASSOC., L.L.C. PERFORMED A GROUND SURVEY OF THE PROPERTY SHOWN HEREON AND THAT THIS MAP IS IN ACCORDANCE WITH THE FIELD NOTES OF SAID SURVEY. THIS PLAT CONFORMS TO LOUISIANA REVISED STATUTES 33:5051 ET. SEQ. AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND.

JAMES W. FALGOUT
 PROFESSIONAL LAND SURVEYOR
 LOUISIANA REGISTRATION NO. 5017



DELINEATION OF JURISDICTIONAL WETLANDS HAS NOT BEEN REQUESTED NOR IS IT A PART OF THIS SURVEY. ABSTRACTING OF TITLE ON THIS PROPERTY WAS NOT WITHIN THE SCOPE OF THIS SURVEY. SERVIDES, RIGHTS-OF-WAY, UNDERGROUND STRUCTURES OR OTHER ENCUMBRANCES OTHER THAN THOSE SHOWN ON THIS SURVEY MAY EXIST. THIS SURVEY DOES NOT GUARANTEE TITLE NOR OWNERSHIP OF THE ORIGINAL DRAWING OF THIS WORK IS THE PROPERTY OF EARLES AND ASSOC., L.L.C. REPRODUCTION IS PROHIBITED EXCEPT BY WRITTEN PERMISSION OF THIS FIRM.

DATE: 10/20/2018	DRAWING No. 16639
DRAWN BY: JWF	JOB. No. 16-639
CHECKED BY: JE	REF. No. 13-373 13-168

EA EARLES AND ASSOCIATES, L.L.C.
 PROFESSIONAL LAND SURVEYORS
 1034 EAST WORTHY ROAD, SUITE B
 GONZALES, LOUISIANA 70737
 Tel: 335-847-8790 Fax: 335-847-8700

TOWNSHIP 9S	SECTION 20
RANGE 4E	

DWG/6/2018



Description: **Affidavit of Mortgage Declaration**
Donald W. Dykes and Pamela L. Dykes - Lot A-1
(42540 Norwood Rd, Gonzales, LA)

ATTACHMENTS:

Description	Upload Date	Type
Donald and Pamela Dykes	12/2/2016	Cover Memo

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



December 14, 2016

B) Donald W. Dykes and Pamela L. Dykes – Lot A-1 (42540 Norwood Rd, Gonzales, LA)
Affidavit of Mortgage Declaration

Staff has reviewed and approved this simple division of property. The lending institution has been notified via certified mail that the loan holder wishes to subdivide his/her property. The Planning Department has not yet received a response.

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



October 20, 2016

Iberia Bank
P. O. Box 53207
Lafayette, LA 70505

**RE: Application to Subdivide Lot A-1, 42540 Norwood Road, Gonzales, LA 70737
(Donald W. Dykes)**

To whom it may concern:

Pursuant to Ascension Parish Ordinance SR12-11, passed by Parish Council on 19 March 2013, the Planning and Development Department is notifying you, as the lending institution holding a mortgage on Lot A-1(42540 Norwood Road, Gonzales, LA) for Donald W. Dykes, that the applicant has applied through our office to subdivide his or her property.

As defined by the ordinance, you may submit a letter of objection or no objection to our office by December 6, 2016 or can appear at a public hearing on December 14, 2016 to hear the proposed subdivision and be given the opportunity to make a presentation to the Planning Commission as to whether or not the proposed division of property should be approved.

If no letter is received by the date listed above, the item will appear on the Planning Commission agenda at the date and time listed above, as a consent agenda item, and will be approved if no one from your institution is present to object.

Please find attached a copy of the affidavit of mortgage verification received from the applicant by our office which further describes the property and loan information.

If you require additional information or have any questions, feel free to email or give me a call.

Sincerely,

A handwritten signature in black ink, appearing to read "Jerome Fournier", is written over a horizontal line.

Jerome Fournier
Director of Planning and Development
jfournier@apgov.us

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



UNITED STATES OF AMERICA

STATE OF LOUISIANA

PARISH OF ASCENSION

AFFIDAVIT OF MORTGAGE DECLARATION

BEFORE ME, the undersigned Notary Public, duly commissioned and qualified, personally came and appeared, the Applicant, Donald Dykes who, avers that he/she is the legal owner of 47540 Norwood Rd. Gonzales, La (lot/tract description), for which the Applicant seeks approval of a plat to subdivide the above described immovable property.
Lot A-1 Sec 3 Tr 5 Q 3 E

- 1) _____ Applicant avers that the above described property is not encumbered by any mortgage or lien.
- 2). D.D. Applicant avers that the above described property is encumbered by mortgage(s) or lien(s) in favor of the following persons or entities:

(Applicant must initial Number 1 or Number 2)

	<u>Name</u>	<u>Mailing Address</u>
1)	_____	_____
2)	_____	_____
3)	_____	_____

The Applicant attaches the following information to enable the Planning Commission to send a Certified Letter to the lending institution to notify them of the Public Hearing Date and to advise them of their ability to object to the division in person or in writing:

- Name of the lender (to which payments on the mortgage are being made)

Iberia bank

- Lender's Address (the address to which payments on the mortgage are mailed)

PO Box 53207

Lafayette, La 70505

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



- Name of the Borrower (debtor on the mortgage)

Donald W. Dykes

- Account number or Reference number

6900 393 635

- Borrower's municipal address

42540 Norwood Rd. Gonzales, La 70737

- Municipal address of the property (if different from the Borrower's address)

- Lot Number and Square Number (if appropriate) of the property subject to mortgage

- Name of Subdivision in which the property is located

- Township, Range , Section Number and Acreage (if appropriate) of the property

The applicant acknowledges that he/she has verified the truthfulness of the above described statement regarding the Declaration(s) of Mortgage(s) or lien(s) on the property which he/she requests to be subdivided.

The Applicant acknowledges that providing false information in completing this document may result in civil fines in accordance with the rules and regulations of the Ascension Parish Land Development Code, not to exceed \$500.00 per day for such violation, with each day the false statement exists without correction to be a separate violation; and/or forwarded for prosecution for violation of La. R.S. 14:133 A. (3) which states in pertinent part:

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Filing false public records is the filing or depositing in any public office or with any public official, or the maintaining as required by law, regulation, or rule, with knowledge of its falsity, of any of the following:

- (3) Any document containing a false statement or false representation of material fact.

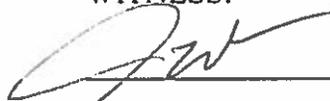
The penalty for violation of La. R.S. 14:133 as provided in Section (C) states:

“Whoever commits the crime of filing false public records shall be imprisoned for not more than five years with or without hard labor or shall be fined not more than five thousand dollars, or both.”

I have read the above and have verified the above described information to be true and correct.

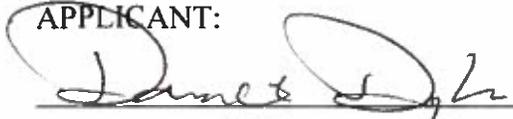
THUS SWORN, DONE, AND SIGNED on the 19th day of Sept, 2016

WITNESS:



Printed Name: James King

APPLICANT:



Printed Name: Donald Dykes

NOTARY

Printed Name:

Clint Coitment
77517
Notary # or La. Bar #



PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



October 20, 2016

Penny Mac
P. O. Box 514387
Los Angeles, CA 90051-4387

**RE: Application to Subdivide Lot A-1, 42540 Norwood Road, Gonzales, LA 70737
(Donald W. Dykes and Pamela L. Dykes)**

To whom it may concern:

Pursuant to Ascension Parish Ordinance SR12-11, passed by Parish Council on 19 March 2013, the Planning and Development Department is notifying you, as the lending institution holding a mortgage on Lot A-1 (42540 Norwood Road, Gonzales, LA) for Donald W. Dykes and Pamela L. Dykes, that the applicant has applied through our office to subdivide his or her property.

As defined by the ordinance, you may submit a letter of objection or no objection to our office by December 6, 2016 or can appear at a public hearing on December 14, 2016 to hear the proposed subdivision and be given the opportunity to make a presentation to the Planning Commission as to whether or not the proposed division of property should be approved.

If no letter is received by the date listed above, the item will appear on the Planning Commission agenda at the date and time listed above, as a consent agenda item, and will be approved if no one from your institution is present to object.

Please find attached a copy of the affidavit of mortgage verification received from the applicant by our office which further describes the property and loan information.

If you require additional information or have any questions, feel free to email or give me a call.

Sincerely,

Jerome Fournier
Director of Planning and Development
fournier@apgov.us

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



UNITED STATES OF AMERICA

STATE OF LOUISIANA

PARISH OF ASCENSION

AFFIDAVIT OF MORTGAGE DECLARATION

BEFORE ME, the undersigned Notary Public, duly commissioned and qualified, personally came and appeared, the Applicant, Donald Dykes who, avers that he/she is the legal owner of 42540 Norwood Rd Gonzales, La (lot/tract description), for which the Applicant seeks approval of a plat to subdivide the above described immovable property.
Lot A-1 Sec 3, T15 R3E

- 1) Applicant avers that the above described property is not encumbered by any mortgage or lien.
- 2). Applicant avers that the above described property is encumbered by mortgage(s) or lien(s) in favor of the following persons or entities:

(Applicant must initial Number 1 or Number 2)

	<u>Name</u>	<u>Mailing Address</u>
1)	_____	_____
2)	_____	_____
3)	_____	_____

The Applicant attaches the following information to enable the Planning Commission to send a Certified Letter to the lending institution to notify them of the Public Hearing Date and to advise them of their ability to object to the division in person or in writing:

- Name of the lender (to which payments on the mortgage are being made)

PennyMac

- Lender's Address (the address to which payments on the mortgage are mailed)

Po Box 514387 Los Angeles, CA. 90051-4387

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



- Name of the Borrower (debtor on the mortgage)

Donald W Dykes Pamela L. Dykes

- Account number or Reference number

80060 32143
~~42540 Norwood Rd. Gonzales, La 70737~~

- Borrower's municipal address

42540 Norwood Rd. Gonzales, La 70737

- Municipal address of the property (if different from the Borrower's address)

- Lot Number and Square Number (if appropriate) of the property subject to mortgage

- Name of Subdivision in which the property is located

- Township, Range , Section Number and Acreage (if appropriate) of the property

The applicant acknowledges that he/she has verified the truthfulness of the above described statement regarding the Declaration(s) of Mortgage(s) or lien(s) on the property which he/she requests to be subdivided.

The Applicant acknowledges that providing false information in completing this document may result in civil fines in accordance with the rules and regulations of the Ascension Parish Land Development Code, not to exceed \$500.00 per day for such violation, with each day the false statement exists without correction to be a separate violation; and/or forwarded for prosecution for violation of La. R.S. 14:133 A. (3) which states in pertinent part:

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



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(3) Any document containing a false statement or false representation of material fact.

The penalty for violation of La. R.S. 14:133 as provided in Section (C) states:

“Whoever commits the crime of filing false public records shall be imprisoned for not more than five years with or without hard labor or shall be fined not more than five thousand dollars, or both.”

I have read the above and have verified the above described information to be true and correct.

THUS SWORN, DONE, AND SIGNED on the 19th day of Sept, 2010

WITNESS:



Printed Name: James W Fejan

APPLICANT:



Printed Name: Donald Dykes


NOTARY

Clint Coiment

Printed Name: #77517

Notary # or La. Bar #





Description: Affidavit of Mortgage Declaration

Charles S. Schroll - Lots C and D (13087 Roddy Road, Gonzales, LA)

ATTACHMENTS:

Description

Charles S Schroll

Upload Date

12/2/2016

Type

Cover Memo

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



December 14, 2016

C) Charles S. Schroll – Lots C and D (13087 Roddy Rd, Gonzales, LA)
Affidavit of Mortgage Declaration

Staff has reviewed and approved this simple division of property. The lending institution has been notified via certified mail that the loan holder wishes to subdivide his/her property. The Planning Department has not yet received a response.

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



November 3, 2016

SWBC Mortgage
P. O. Box 77404
Ewing, N. J. 08628

RE: Application to Subdivide Lots C and D, Charles S. Schroll (13087 Roddy Road, Gonzales, LA 70737)

To whom it may concern:

Pursuant to Ascension Parish Ordinance SR12-11, passed by Parish Council on 19 March 2013, the Planning and Development Department is notifying you, as the lending institution holding a mortgage on Lots C and D for Charles S. Schroll (13087 Roddy Road, Gonzales, LA 70737) that the applicant has applied through our office to subdivide his or her property.

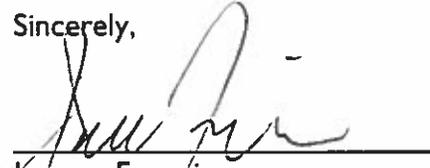
As defined by the ordinance, you may submit a letter of objection or no objection to our office by December 6, 2016 or can appear at a public hearing on December 14, 2016 to hear the proposed subdivision and be given the opportunity to make a presentation to the Planning Commission as to whether or not the proposed division of property should be approved.

If no letter is received by the date listed above, the item will appear on the Planning Commission agenda at the date and time listed above, as a consent agenda item, and will be approved if no one from your institution is present to object.

Please find attached a copy of the affidavit of mortgage verification received from the applicant by our office which further describes the property and loan information.

If you require additional information or have any questions, feel free to email or give me a call.

Sincerely,



Jerome Fournier
Director of Planning and Development
jfournier@apgov.us

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Tommy Martinez
Parish President

UNITED STATES OF AMERICA

STATE OF LOUISIANA

PARISH OF ASCENSION

AFFIDAVIT OF MORTGAGE DECLARATION

BEFORE ME, the undersigned Notary Public, duly commissioned and qualified, personally came and appeared, the Applicant, CHARLES SCHROLL who, avers that he/she is the legal owner of ~~LOT C AND D~~ Lot 13087 Rally Rd Lot C-1 (lot/tract description) for which the Applicant seeks approval of a plat to subdivide the above described immovable property. Sec 16 T95, R3E

- 1) Applicant avers that the above described property is not encumbered by any mortgage or lien.
- 2) ess Applicant avers that the above described property is encumbered by mortgage(s) or lien(s) in favor of the following persons or entities:

	<u>Name</u>	<u>Mailing Address</u>
1)	<u>SWBC</u>	<u>PO Box 77404 EWING, NJ 08628</u>
2)	<u> </u>	<u> </u>
3)	<u> </u>	<u> </u>

The Applicant attaches the following information to enable the Planning Commission to send a Certified Letter to the lending institution to notify them of the Public Hearing Date and to advise them of their ability to object to the division in person or in writing:

- Name of the lender (to which payments on the mortgage are being made)
SWBC Mortgage
- Lender's Address (the address to which payments on the mortgage are mailed)
P.O. Box 77404 EWING, NJ 08628

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Tommy Martinez
Parish President

- Name of the Borrower (debtor on the mortgage)
CHARLES S SCHROLL
- Account number or Reference number
0083307066
- Borrower's municipal address
13087 Roddy Rd Gonzales, LA 70737
- Municipal address of the property (if different from the Borrower's address)
SAME
- Lot Number and Square Number (if appropriate) of the property subject to mortgage
LOT C AND D
- Name of Subdivision in which the property is located
N/A
- Township, Range , Section Number and Acreage (if appropriate) of the property
9S, 3E, 16, 1.00 ACRE

(Applicant must initial Number 1 or Number 2)

The applicant acknowledges that he/she has verified the truthfulness of the above described statement regarding the Declaration(s) of Mortgage(s) or lien(s) on the property which he/she requests to be subdivided.

The Applicant acknowledges that providing false information in completing this document may result in civil fines in accordance with the rules and regulations of the Ascension Parish Land Development Code, not to exceed \$500.00 per day for such violation, with each day the false statement exists without correction to be a separate violation; and/or forwarded for prosecution for violation of La. R.S. 14:133 A. (3) which states in pertinent part:

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Tommy Martinez
Parish President

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(3) Any document containing a false statement or false representation of material fact.

The penalty for violation of La. R.S. 14:133 as provided in Section (C) states:

“Whoever commits the crime of filing false public records shall be imprisoned for not more than five years with or without hard labor or shall be fined not more than five thousand dollars, or both.”

I have read the above and have verified the above described information to be true and correct.

THUS SWORN, DONE, AND SIGNED on the 7th day of July, 2016

WITNESS:

Printed Name: Simon J. Young JK

APPLICANT:

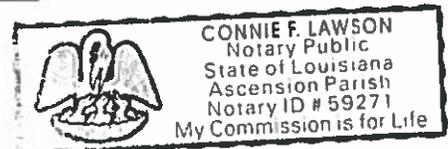
Printed Name: CHARLES S. SCHROLL

NOTARY

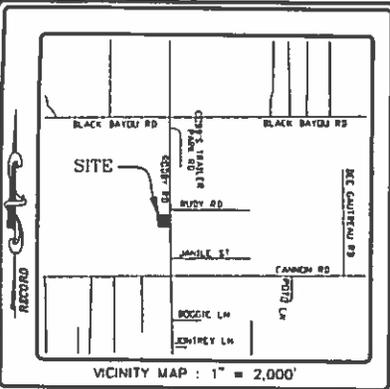
Printed Name:

59271

Notary # or La. Bar #



NO COMMENTS



- REFERENCE MAP:**
- 1) MAP SHOWING SURVEY SIMON YOUNG RECORDED AS INSTRUMENT #312324
 - 2) MAP SHOWING SURVEY FOR ALLEN YOUNG BY ROBERT MCCONNELL, RLS NOT RECORDED.
 - 3) MAP SHOWING SURVEY FOR CONNIE EVANS RECORDED AS INSTRUMENT #894971.
 - 4) MAP SHOWING SURVEY FOR CONNIE EVANS RECORDED AS INSTRUMENT #897285.

*BEARINGS ARE BASED ON OPS MEASUREMENTS, LSU GOLF NET, VRS, NORTH AMERICAN DATUM (1983) LAMBERT CONFORMAL CONIC PROJECTION, LOUISIANA SOUTH ZONE, STATE PLANE COORDINATE SYSTEM

THIS SURVEY CONFORMS TO CURRENT STANDARDS OF PRACTICE AS DEFINED IN TITLE 48, LRS AND REVISED STATUTES 33:5051 OF THE PROFESSIONAL AND OCCUPATIONAL STANDARDS FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

THIS PROPERTY IS ZONED = MEDIUM INTENSITY (RM)

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP NO. 2200SC 0045 E FOR ASCENSION PARISH, MAP DATED AUGUST 16, 2007, THIS PROPERTY LIES IN FLOOD HAZARD ZONE = X.

SEWER DISPOSAL SHALL BE INDIVIDUAL SANITARY SEWER PLANTS.

NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE LOCAL HEALTH AUTHORITY.

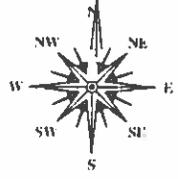
SOURCE OF WATER SUPPLY SHALL BE APPROVED BY THE ASCENSION PARISH HEALTH UNIT.

ANY NEW DRAINAGE DITCH REQUIRED BY THE SUBDIVISION OF THIS PROPERTY FOR THE PURPOSE OF TRANSPORTING RUNOFF OR SEWAGE TREATMENT PLANT EFFLUENT TO AN EXISTING PARISH MAINTAINED DITCH SHALL BE CONSTRUCTED AND MAINTAINED BY THE PROPERTY OWNER(S).

THE RIGHTS-OF-WAY SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC. ALL AREAS SHOWN AS SERVITUDES ARE GRANTED TO THE PUBLIC FOR THE USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL AND OTHER PROPER PURPOSES FOR THE GENERAL USE OF THE PUBLIC. NO BUILDING, STRUCTURE OR FENCE SHALL BE CONSTRUCTED, NOR SHRUBBERY PLANTED, WITHIN THE LIMITS OF ANY SERVITUDE SO AS TO UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH SERVITUDE WAS GRANTED.

SIMON YOUNG
DATE _____

CHARLES SCHROLL
DATE _____

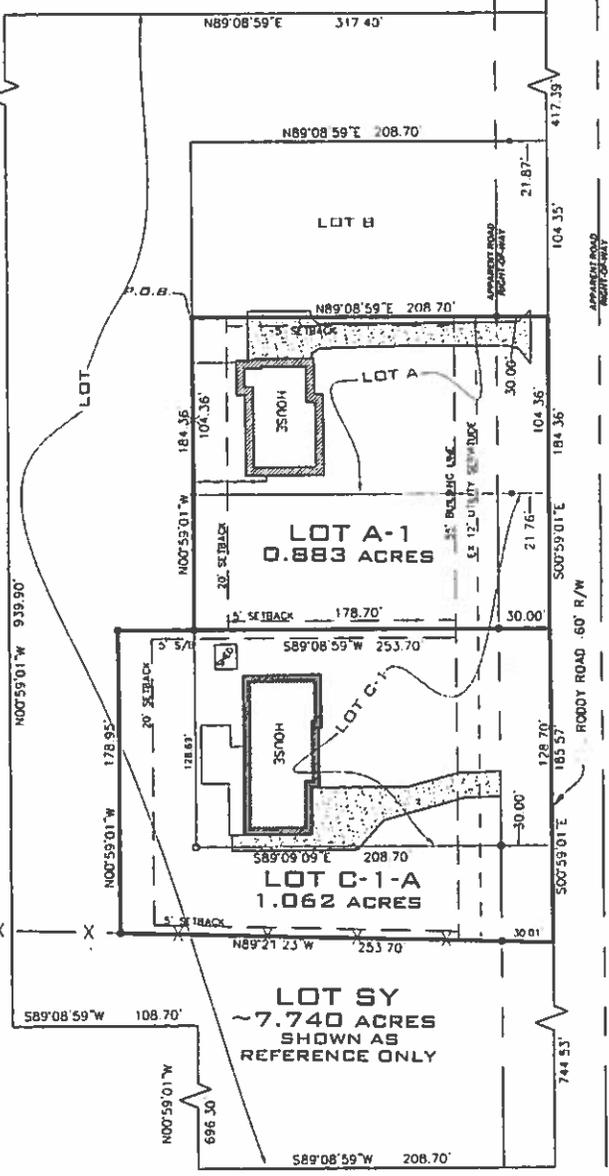


- LEGEND:**
- 1/2" IRON PIPE FOUND OR AS SHOWN
 - 1/2" IRON ROD SET
 - x — FENCELINE

APPROVED:
ASCENSION PARISH PLANNING COMMISSION

CHAIRMAN _____
DATE: _____
FILE: _____

DATE: 09/13/2016	DRAWING No. 161268
DRAWN BY: JWF	JOB No. 16-126
CHECKED BY: LB	REF. No.



PRELIMINARY SIMPLE DIVISION
MAP SHOWING SURVEY OF
LOT C-1-A, LOT A-1 & LOT SY
BEING THE RESUBDIVISION OF LOT C-1, LOT A & AN UNNAMED LOT,
BEING A PORTION OF THE SIMON YOUNG PROPERTY,
LOCATED IN SECTION 16, T9S - R3E,
SOUTHEASTERN LAND DISTRICT,
EAST OF THE MISSISSIPPI RIVER, ASCENSION PARISH, LA.
FOR
SIMON YOUNG & CHARLES SCHROLL

* THIS PLAT IS VOID UNLESS SIGNED AND STAMPED BY THE LICENSED PROFESSIONAL SHOWN BELOW *

I CERTIFY THAT IN MARCH 2016, EARLES AND ASSOC., L.L.C. PERFORMED A GROUND SURVEY OF THE PROPERTY SHOWN HEREON AND THAT THIS MAP IS IN ACCORDANCE WITH THE FIELD NOTES OF SAID SURVEY. THIS PLAT CONFORMS TO LOUISIANA REVISED STATUTES 33:5051 ET SEQ. AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND.

JAMES W. FALGOUT
PROFESSIONAL LAND SURVEYOR
LOUISIANA REGISTRATION NO. 5017



161268.DWG DELINEATION OF JURISDICTIONAL WETLANDS HAS NOT BEEN REQUESTED NOR IS IT A PART OF THIS SURVEY. ABSTRACTING OF TITLE ON THIS PROPERTY WAS NOT WITHIN THE SCOPE OF THIS SURVEY. SERVITUDES, RIGHTS-OF-WAY, UNDERGROUND STRUCTURES OR OTHER ENCUMBRANCES OTHER THAN THOSE SHOWN ON THIS SURVEY MAY EXIST. THIS SURVEY DOES NOT GUARANTEE TITLE NOR OWNERSHIP. THE ORIGINAL DRAWING OF THIS WORK IS THE PROPERTY OF EARLES AND ASSOC., L.L.C. REPRODUCTION IS PROHIBITED EXCEPT BY WRITTEN PERMISSION OF THIS FIRM.

EA EARLES AND ASSOCIATES, L.L.C.
PROFESSIONAL LAND SURVEYORS
1034 EAST WORTHY ROAD, SUITE B
CONZALEE, LOUISIANA 70737
Tel: 225-647-9700 Fax: 225-647-9700

TOWNSHIP	SECTION
95	16
RANGE	
3E	



Description: Affidavit of Mortgage Declaration

Oak Grove Estates, 2nd Filing

1) Chad M. & Laura S. Brackin - Lots 32-A & 33-A (18692 Oak Grove Pkway; Prairieville, LA)

2) David L. & Kristen H. Hoffman - Lot 34-A-1 (18736 Oak Grove Pkway; Prairieville, LA) -*Whitney Bank (Standard Mortgage has objected until further review)*

ATTACHMENTS:

Description

Oak Grove Estates, 2nd Filing

Upload Date

12/2/2016

Type

Cover Memo

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



December 14, 2016

D) Oak Grove Estates, 2nd Filing

- 1) Chad M & Laura S Brackin – Lots 32-A & 33-A (18692 Oak Grove Pkway, Prairieville, LA)
- 2) David L & Kristen H Hoffman – Lot 34-A-1 (18736 Oak Grove Pkway, Prairieville, LA) – *Whitney Bank* (Standard Mortgage has objected until further review)

Affidavit of Mortgage Declaration

Staff has reviewed and approved this simple division of property. The lending institution has been notified via certified mail that the loan holder wishes to subdivide his/her property. The Planning Department has not yet received a response.

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



November 2, 2016

Whitney Bank
P. O. Box 211269
Montgomery, AL 36121-1269

RE: Application to Subdivide Lots 32-A & 33-A, Chad M. and Laura S. Brackin (18692 Oak Grove Parkway, Prairieville, LA 70769)

To whom it may concern:

Pursuant to Ascension Parish Ordinance SR12-11, passed by Parish Council on 19 March 2013, the Planning and Development Department is notifying you, as the lending institution holding a mortgage on Lots 32-A & 33-A for Chad M. and Laura S. Brackin (18692 Oak Grove Parkway, Prairieville, LA 70769) that the applicant has applied through our office to subdivide his or her property.

As defined by the ordinance, you may submit a letter of objection or no objection to our office by December 6, 2016 or can appear at a public hearing on December 14, 2016 to hear the proposed subdivision and be given the opportunity to make a presentation to the Planning Commission as to whether or not the proposed division of property should be approved.

If no letter is received by the date listed above, the item will appear on the Planning Commission agenda at the date and time listed above, as a consent agenda item, and will be approved if no one from your institution is present to object.

Please find attached a copy of the affidavit of mortgage verification received from the applicant by our office which further describes the property and loan information.

If you require additional information or have any questions, feel free to email or give me a call.

Sincerely,

Jerome Fournier
Director of Planning and Development
jfournier@apgov.us

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Tommy Martinez
Parish President

UNITED STATES OF AMERICA

STATE OF LOUISIANA

PARISH OF ASCENSION

AFFIDAVIT OF MORTGAGE DECLARATION

BEFORE ME, the undersigned Notary Public, duly commissioned and qualified, personally came and appeared, the Applicant, Chad Brackin who, avers that he/she is the legal owner of Lots 32-A & 33-A, Oak Grove Estates ^{2nd Filing} (lot/tract description), for which the Applicant seeks approval of a plat to subdivide the above described immovable property.

- 1) Applicant avers that the above described property is not encumbered by any mortgage or lien.
- 2) Applicant avers that the above described property is encumbered by mortgage(s) or lien(s) in favor of the following persons or entities:

<u>Name</u>	<u>Mailing Address</u>
1) <u>Whitney Bank</u>	<u>P.O. Box 4019, Gulfport, MS 39502</u>
2) _____	_____
3) _____	_____

The Applicant attaches the following information to enable the Planning Commission to send a Certified Letter to the lending institution to notify them of the Public Hearing Date and to advise them of their ability to object to the division in person or in writing:

- Name of the lender (to which payments on the mortgage are being made)

Whitney Bank

- Lender's Address (the address to which payments on the mortgage are mailed)

P.O. Box 211269, Montgomery AL 36121-1269

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Tommy Martinez
Parish President

- Name of the Borrower (debtor on the mortgage)
Chad M. & Laura S. Brackin
- Account number or Reference number
Acct # 000120-109-862-08
- Borrower's municipal address
18692 Oakgrove Pkwy, Prairieville, LA, 70769
- Municipal address of the property (if different from the Borrower's address)
Same
- Lot Number and Square Number (if appropriate) of the property subject to mortgage
Lots 32-A & 33-A
- Name of Subdivision in which the property is located
Oak Grove Estates, 2nd Filing
- Township, Range, Section Number and Acreage (if appropriate) of the property
Section 22, T8S-R2E

(Applicant must initial Number 1 or Number 2)

The applicant acknowledges that he/she has verified the truthfulness of the above described statement regarding the Declaration(s) of Mortgage(s) or lien(s) on the property which he/she requests to be subdivided.

The Applicant acknowledges that providing false information in completing this document may result in civil fines in accordance with the rules and regulations of the Ascension Parish Land Development Code, not to exceed \$500.00 per day for such violation, with each day the false statement exists without correction to be a separate violation; and/or forwarded for prosecution for violation of La. R.S. 14:133 A. (3) which states in pertinent part:

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Tommy Martinez
Parish President

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(3) Any document containing a false statement or false representation of material fact.

The penalty for violation of La. R.S. 14:133 as provided in Section (C) states:

"Whoever commits the crime of filing false public records shall be imprisoned for not more than five years with or without hard labor or shall be fined not more than five thousand dollars, or both."

I have read the above and have verified the above described information to be true and correct.

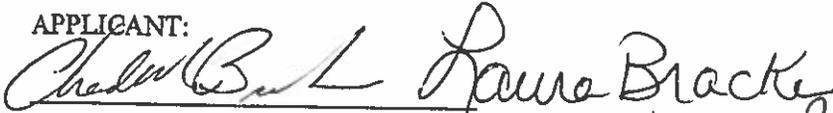
THUS SWORN, DONE, AND SIGNED on the 31 day of October, 2016

WITNESS:



Printed Name: Kristen Hoffman

APPLICANT:



Printed Name: Chad Brackin Laura Brackin


NOTARY

DAVID L. HOFFMAN

Printed Name:

4733

Notary # or La. Bar #

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



November 2, 2016

Whitney Bank
P. O. Box 4019
Gulf Port, MS 39502

**RE: Application to Subdivide Lot 34-A-1, David L. Hoffman and Kristen H. Hoffman
(18736 Oak Grove Parkway, Prairieville, LA 70769)**

To whom it may concern:

Pursuant to Ascension Parish Ordinance SR12-11, passed by Parish Council on 19 March 2013, the Planning and Development Department is notifying you, as the lending institution holding a mortgage on Lot 34-A-1 for David L. Hoffman and Kristen H. Hoffman (18736 Oak Grove Parkway, Prairieville, LA 70769) that the applicant has applied through our office to subdivide his or her property.

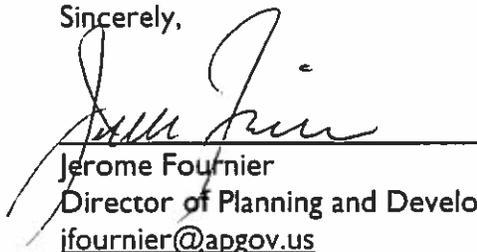
As defined by the ordinance, you may submit a letter of objection or no objection to our office by December 6, 2016 or can appear at a public hearing on December 14, 2016 to hear the proposed subdivision and be given the opportunity to make a presentation to the Planning Commission as to whether or not the proposed division of property should be approved.

If no letter is received by the date listed above, the item will appear on the Planning Commission agenda at the date and time listed above, as a consent agenda item, and will be approved if no one from your institution is present to object.

Please find attached a copy of the affidavit of mortgage verification received from the applicant by our office which further describes the property and loan information.

If you require additional information or have any questions, feel free to email or give me a call.

Sincerely,


Jerome Fournier
Director of Planning and Development
jfournier@apgov.us

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Tommy Martinez
Parish President

UNITED STATES OF AMERICA

STATE OF LOUISIANA

PARISH OF ASCENSION

AFFIDAVIT OF MORTGAGE DECLARATION

BEFORE ME, the undersigned Notary Public, duly commissioned and qualified, personally came and appeared, the Applicant, David L. Hoffman who, avers that he/she is the legal owner of Lot 34-A-1, Oak Grove Estates, 2nd Filing (lot/tract description), for which the Applicant seeks approval of a plat to subdivide the above described immovable property.

- 1) Applicant avers that the above described property is not encumbered by any mortgage or lien.
- 2) Applicant avers that the above described property is encumbered by mortgage(s) or lien(s) in favor of the following persons or entities:

<u>Name</u>	<u>Mailing Address</u>
1) <u>Standard Mortgage</u>	<u>701 Poydras St. New Orleans LA 70139</u>
2) <u>Whitney Bank</u>	<u>P.O. Box 4019 Gulfport MS 39502</u>
3) _____	_____

The Applicant attaches the following information to enable the Planning Commission to send a Certified Letter to the lending institution to notify them of the Public Hearing Date and to advise them of their ability to object to the division in person or in writing:

- Name of the lender (to which payments on the mortgage are being made)

Standard Mortgage / Whitney Bank.

- Lender's Address (the address to which payments on the mortgage are mailed)

701 Poydras St New Orleans LA 70139 / P.O. Box 211269 Montgomery AL 36121-1269

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Tommy Martinez
Parish President

- Name of the Borrower (debtor on the mortgage)

David L Hoffman and Kristen H. Hoffman

- Account number or Reference number

Standard loan # 292107 Whitney Loan # 12010405647

- Borrower's municipal address

18736 OAK GROVE PKWY Prairieville LA 70769

- Municipal address of the property (if different from the Borrower's address)

SAME

- Lot Number and Square Number (if appropriate) of the property subject to mortgage

Lot 34-A-1

- Name of Subdivision in which the property is located

OAK GROVE ESTATES 2nd Filing

- Township, Range, Section Number and Acreage (if appropriate) of the property

Prairieville Section 22 T8S-R2E

(Applicant must initial Number 1 or Number 2)

The applicant acknowledges that he/she has verified the truthfulness of the above described statement regarding the Declaration(s) of Mortgage(s) or lien(s) on the property which he/she requests to be subdivided.

The Applicant acknowledges that providing false information in completing this document may result in civil fines in accordance with the rules and regulations of the Ascension Parish Land Development Code, not to exceed \$500.00 per day for such violation, with each day the false statement exists without correction to be a separate violation; and/or forwarded for prosecution for violation of La. R.S. 14:133 A. (3) which states in pertinent part:

PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Tommy Martinez
Parish President

Filing false public records is the filing or depositing in any public office or with any public official, or the maintaining as required by law, regulation, or rule, with knowledge of its falsity, of any of the following:

(3) Any document containing a false statement or false representation of material fact.

The penalty for violation of La. R.S. 14:133 as provided in Section (C) states:

"Whoever commits the crime of filing false public records shall be imprisoned for not more than five years with or without hard labor or shall be fined not more than five thousand dollars, or both."

I have read the above and have verified the above described information to be true and correct.

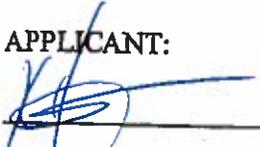
THUS SWORN, DONE, AND SIGNED on the 1st day of November, 2016

WITNESS:



Printed Name: Andre N. Booth

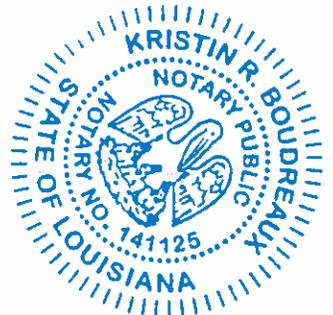
APPLICANT:



Printed Name: KRISTEN Hoffmann



NOTARY
Kristin R. Boudreau
Printed Name:
141125
Notary # or La. Bar #



PARISH OF ASCENSION
OFFICE OF PLANNING AND DEVELOPMENT
PLANNING DEPARTMENT



Tommy Martinez
Parish President

Filing false public records is the filing or depositing in any public office or with any public official, or the maintaining as required by law, regulation, or rule, with knowledge of its falsity, of any of the following:

(3) Any document containing a false statement or false representation of material fact.

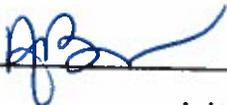
The penalty for violation of La. R.S. 14:133 as provided in Section (C) states:

"Whoever commits the crime of filing false public records shall be imprisoned for not more than five years with or without hard labor or shall be fined not more than five thousand dollars, or both."

I have read the above and have verified the above described information to be true and correct.

THUS SWORN, DONE, AND SIGNED on the 1st day of November, 2016

WITNESS:



Printed Name: Andrea N. Booth

APPLICANT:



Printed Name: DAVID L. HOFFMAN



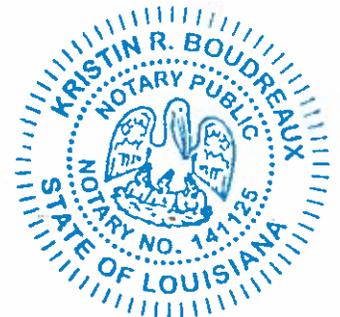
NOTARY



Printed Name:

141126

Notary # or La. Bar #





November 8, 2016

Parish of Ascension
Office of Planning and Development
ATTN: Jerome Fournier
615 E Worthey Street
Gonzales, Louisiana 70737

RE: David and Kristen Hoffman
Application to Subdivide Lot 34-A-1
18736 Oak Grove Parkway
Prairieville, LA 70769
STANDARD MORTGAGE #185986

Mr. Fournier:

At this time, Standard Mortgage does object to the application to Subdivide.
The customer is required to contact Standard Mortgage Corporation for
review and approval of the request.

Until such time that we are provided all details for review, we do not approve of this
request.

Sincerely,

Tammy Rodriguez
Asst. VP



Description: Virgil J. Bourque, III Property - Lots A and B
W. J. Cointment Surveyors
(Council District 9)

ATTACHMENTS:

Description	Upload Date	Type
Virgil J Bourque, III	12/7/2016	Cover Memo
Virgil J Bourque III Plat	12/7/2016	Cover Memo

FAMILY PARTITION

A) Virgil J. Bourque III Property – Lots A and B

The subject property is located on the north side of LA Hwy 621 (Cante Road) approximately 600 feet west of Bishop Woods Road in Council District 9 and is zoned Medium Intensity Residential (RM). The application is on behalf of Virgil J. Bourque III by W. J. Cointment Surveyors.

The owner is proposing a family partition of a 4.23 acre tract (Unnamed Lot) into Lot(s) A (2.94 acres) and B (1.29 acres). The applicant will retain Lot A, and transfer Lot B to his daughter. Lot B will be accessed by a proposed 30' servitude of passage off of LA Hwy 621 and will include a 12' utility servitude as required.

STAFF REVIEW COMMENTS

Comments sent to W. J. Cointment by email on 11-14-16:

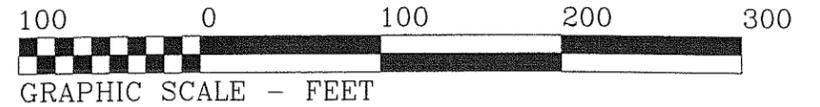
1. Reference No. 2 should read Ray G. Babin with Instrument No. 908357.
2. Add, "The Parish of Ascension has no responsibility for the maintenance of this Private Access Servitude." to the dedication statement as shown on the plat submittal checklist.
3. Label line to southwest of 15' drainage servitude.
4. Since private servitude of access is being created, the 25' setback needs to be shown on the map and a variance requested for both the existing mobile home and shed as the non-conforming situation was created by the subdivision of the lots.

All other items as per ordinance have been addressed on the plat along with the required notes, labels, setbacks and servitudes as per Paragraph 17-406 of the Subdivision Regulations.

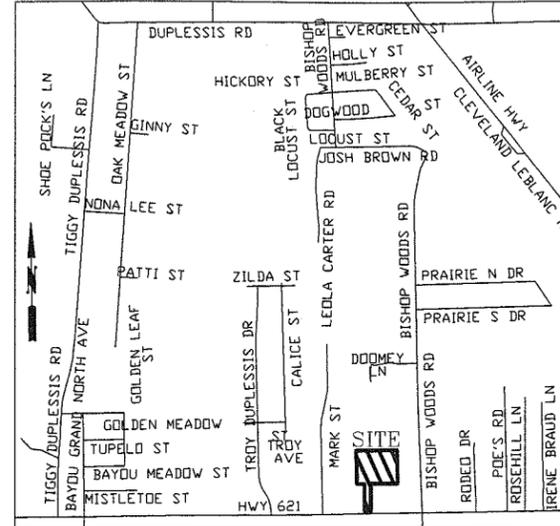
The servitude of access off of LA Hwy. 621 passes between an existing mobile home and shed and will need to either be adjusted or a setback variance requested as the applicant cannot create a non-conforming situation by the division of property.

STAFF RECOMMENDATIONS

This property division appears to follow the intent of the family partition section of the ordinance. The owner(s) have owned the property for at least three years or prior to January 1, 2015 as required by Paragraph 17-4026.B. In the event the commission concurs with the staff analysis, staff recommends approval contingent on addressing the four comments on the final map as listed above and all of the required conveyance documents being completed and recorded according to Paragraph 17-4026.F of the Subdivision Regulations.



VICINITY MAP SCALE 1" = 2000'



DEDICATION:
THE RIGHT OF WAY OF STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC. ALL AREAS SHOWN AS SERVITUDES ARE GRANTED TO THE PUBLIC FOR USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL OR OTHER PROPER PURPOSE FOR THE GENERAL USE OF THE PUBLIC. NO BUILDINGS, STRUCTURE, OR FENCE SHALL BE CONSTRUCTED, NOR SHRUBBERY PLANTED WITHIN THE LIMITS OF ANY SERVITUDE SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE IS GRANTED.

THE ROADS AND STREETS SHOWN ON THIS PLAT ARE PRIVATE AND NOT PUBLIC ROADS AND STREETS AND ARE MAINTAINED BY THE LOT OWNERS ONLY. THE PARISH OF ASCENSION SHALL NOT MAINTAIN, UPGRADE OR ACCEPT SAID ROADS INTO THE PUBLIC SYSTEM UNLESS AND UNTIL BROUGHT UP TO HARD SURFACE AND ALL OTHER STANDARDS BY THE LOT OWNERS OR DEVELOPER, ACCORDING TO THE SUBDIVISION REGULATIONS FOR THE PARISH OF ASCENSION. THE SUBDIVIDER AND LOT OWNERS FURTHER ARE PUT ON NOTICE THAT SCHOOL BUSES DO NOT OR ARE NOT REQUIRED TO TRAVEL DOWN PRIVATE ROADS AND IT IS THE OBLIGATION OF THE LOT OWNERS TO BRING THEIR CHILDREN TO A PUBLIC ROAD FOR SCHOOL BUS PICK UP.

THE PRIVATE ACCESS SERVITUDE SHOWN HEREON IS HEREBY DEDICATED AS A MEANS OF ACCESS TO LOT B. NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE, OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY PRIVATE DRIVEWAY SERVITUDE SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH THE PURPOSE FOR WHICH THE SERVITUDE IS GRANTED.

NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE ASCENSION PARISH HEALTH UNIT.

ANY NEW DRAINAGE DITCH REQUIRED BY THE SUBDIVISION OF THIS PROPERTY FOR THE PURPOSE OF TRANSPORTING RUNOFF OR SEWAGE EFFLUENT TO AN EXISTING PARISH MAINTAINED DITCH SHALL BE CONSTRUCTED BY THE PROPERTY OWNER(S).

SOURCE OF WATER SUPPLY SHALL BE APPROVED BY THE ASCENSION PARISH HEALTH UNIT.

I HEREBY CERTIFY I WILL TRANSFER THE ABOVE LOTS ONLY TO THE DESIGNATED FAMILY MEMBERS AS SHOWN ON THIS PLAT.

SUBDIVIDER VIRGIL J. BOURQUE, III DATE

APPROVED: _____
ASCENSION PARISH PLANNING COMMISSION

DATE: _____

P.C. FILE #: _____

Ray G. Babin,
Inst. No. 908357

- REFERENCE MAPS
- 1: MAP BY W.J. COINTMENT, JR. DATED 7-19-1969 FOR V.J. BOURQUE, JR., FILE # 155293
 - 2: MAP BY CLINT J. COINTMENT DATED 10-25-2011 FOR RAY V. BABIN ESTATE, FILE #
 - 3: MAP BY CLINT J. COINTMENT DATED 2-16-2009 FOR ARTHUR M. SMITH, JR FILE # 718192

FAMILY PARTITION
OF
THE SUBDIVISION OF THE VIRGIL J. BOURQUE, III PROPERTY, INTO LOTS A AND B, SITUATED IN SECTION 12, T9S, R2E, SED., EAST OF THE MISS. RIVER, ASCENSION PARISH, LA.

W. J. COINTMENT SURVEYORS
PROFESSIONAL LAND SURVEYING
CLINT J. COINTMENT, PLS
11411 BON TERRE BLVD.
GONZALES, LA. 70737
PH. 225-644-5454 FAX. 225-644-5248

CERTIFICATION
THIS PLAT WAS PREPARED AND CERTIFIED FOR THE EXCLUSIVE USE OF

VIRGIL J. BOURQUE, III

PRELIMINARY

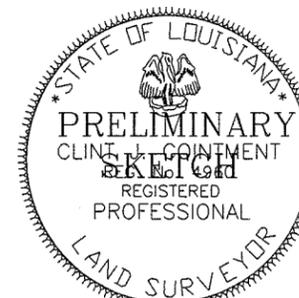
NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT.
CLINT J. COINTMENT, PLS REG. 4960

SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITY WITHOUT EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON. I CERTIFY PLAN IN ACCORDANCE WITH MINIMUM STANDARDS FOR BOUNDARY SURVEYS TITLE 46 LXI AND REVISED STATUTES 33:5051 GONZALES, LA.
SCALE 1"= 100'
DATE: 11-9-2016

CLINT J. COINTMENT, PLS.
LAND SURVEYOR

169, 6070
FB F PG REF. 8432,7925

12
16530

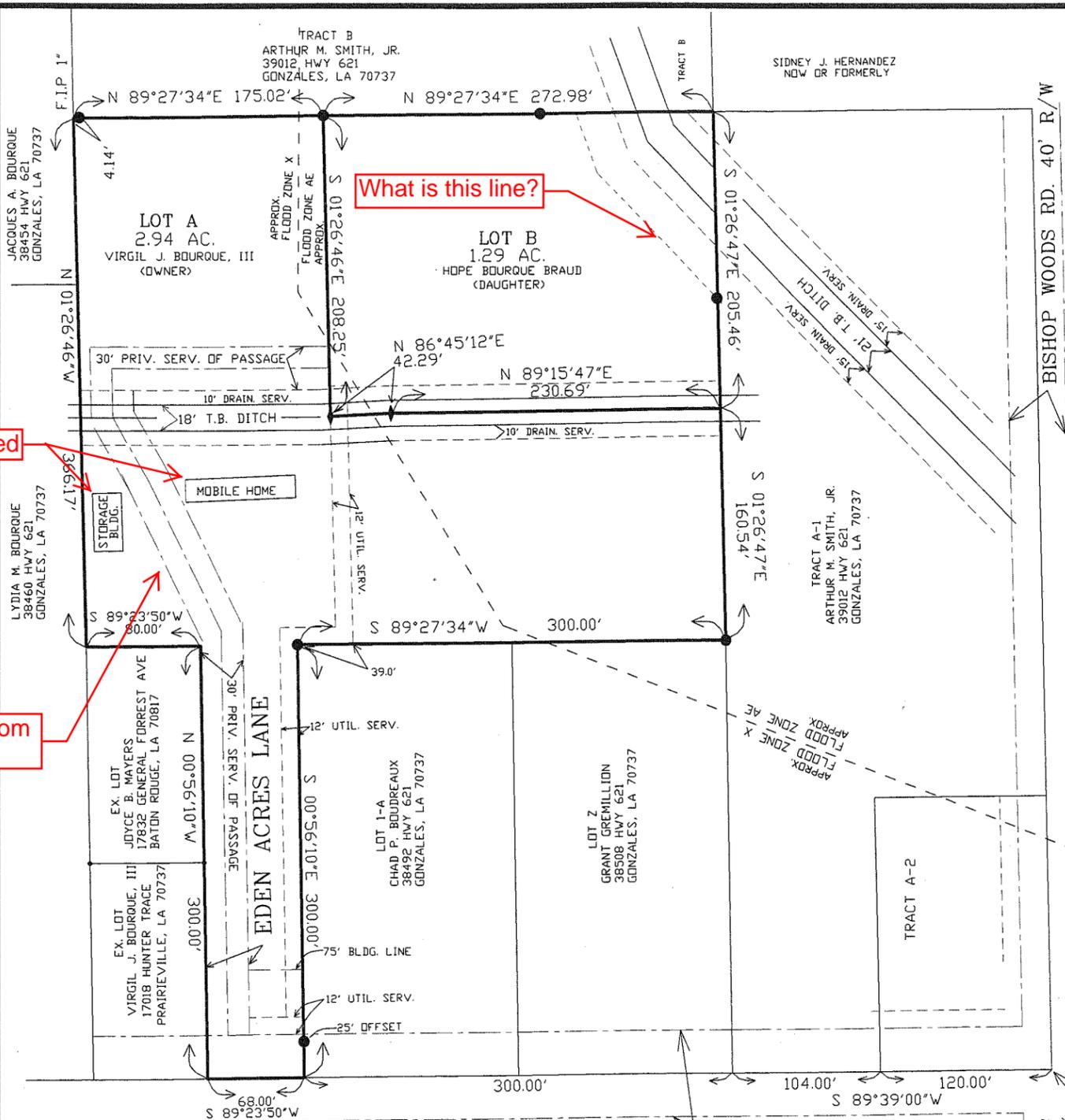


ASCENSION PARISH ZONING SETBACKS
ASCENSION PARISH ZONE - RM
FRONT SETBACKS: 25' OR 55' FROM STREET CENTERLINE, WHICHEVER IS GREATER.
SIDE SETBACKS: 5'
REAR SETBACKS: 20'
NOTE: ALL EX. STRUCTURES WITHIN SETBACKS ARE INDICATED ON PLAT AND LABELED AS NON-CONFORMING.

REVISIONS:

- LEGEND
- CLASS "C" SURVEY
 - SET IRON RODS 1/2"
 - FOUND IRON PIPE 1/2"
 - FOUND NAIL & WASHER
 - SET NAIL & WASHER
 - LDH R/W MARKER
 - POWER POLE
 - CALCULATED POINT

DELINEATION OF JURISDICTION WETLANDS HAS NOT BEEN REQUESTED NOR IS PART OF THIS SURVEY.
ACCORDING TO THE FED. EMERGENCY MGMT. AGENCY FED. INSURANCE ADM. FLOOD HAZARD BOUNDARY MAP COMM. 220013-0040 E (8-16-2007) OF ASCENSION PARISH, LA. THIS PROPERTY LIES WITHIN FLOOD HAZARD ZONE X & AE PARISH ZONING RM PER MAP DATED 8-3-2011



What is this line?

Variance requested

Show 25' setback from access servitude.

GPS MEASUREMENTS, LSU GULF NET, VRS, NORTH AMERICAN DATUM (1983), LAMBERT CONFORMAL CONIC PROJECTION, LOUISIANA SOUTH ZONE, STATE PLANE COORDINATE SYSTEM.

BASE BEARING FROM THE ORIGINAL DRAWING OF THIS WORK IS THE PROPERTY OF W.J. COINTMENT SURVEYOR. REPRODUCTION OF THIS PRINT IS PROHIBITED EXCEPT BY WRITTEN PERMISSION OF THIS FIRM. ADDITIONAL INFORMATION IS OFTEN ADDED IN A CONTINUOUS UPDATING PROCESS. CHECK FOR LATEST REVISION DATE BEFORE ACTING ON DATA SHOWN. THIS FIRM IS NOT RESPONSIBLE FOR ACTIONS OR PROJECTS TAKEN BASED UPON OBSOLETE DRAWINGS FOR WHICH THIS FIRM WAS NOT SPECIFICALLY CONSULTED AND WRITTEN PERMISSION RECEIVED. SERVITUDES AND/OR RIGHTS-OF-WAY OTHER THAN THOSE NOTED MAY EXIST ON THIS PROPERTY AND OWNERS OR POTENTIAL BUYERS SHOULD BE AWARE THAT ABSTRACTING OF TITLE TO THIS PROPERTY, TO SHOW ALL ENCUMBRANCES, WAS NOT WITHIN THE SCOPE OF THIS SURVEY.



Description: George Babin Property - Lots B-3-4-A and B-3-4-B
W. J. Cointment Surveyors
(Council District 9)

ATTACHMENTS:

Description	Upload Date	Type
George Babin	12/7/2016	Cover Memo
George Babin Plat	12/7/2016	Cover Memo

December 14, 2016

FAMILY PARTITION

B) George Babin Property – Lots B-3-4-A and B-3-4-B

The subject property is located on the north side of LA Hwy 935 (Bayou Narcisse Road) approximately 325 feet east of Casey Babin Road in Council District 9 and is zoned Medium Intensity Residential (RM). The application is on behalf of George Babin, Jr. by W. J. Cointment Surveyors.

The owner is proposing a family partition of existing Lot B-3 (1.83 acres) and existing Lot B-4 (.54 acres) into Lot(s) B-3-4-A (.68 acres) and B-3-4-B (1.69 acres). The applicant will retain Lot B-3-4-A, and transfer Lot B-3-4-B to his daughter. Lot B will be accessed by a proposed 30' servitude of passage off of Acadian Oaks Dr. and will include a 12' utility servitude across Lot B-3-4-A as required.

STAFF REVIEW COMMENTS

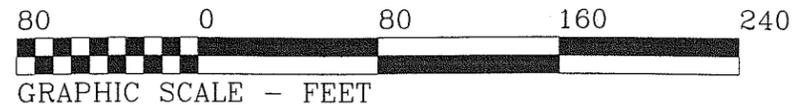
Comments sent to W. J. Cointment by email on 11-14-16:

1. Show existing 15' drainage servitude along eastern boundary.
2. Add , “The Parish of Ascension has no responsibility for the maintenance of this Private Access Servitude.” to the dedication statement as shown on the plat submittal checklist.
3. You may want to add Instrument No. 443710 to the references.
4. Revise private access dedication statement to read “Lot B-3-4-B”.
5. Add lot designations as shown.
6. FEMA Flood Map is -110 E.

All other items as per ordinance have been addressed on the plat along with the required notes, labels, setbacks and servitudes as per Paragraph 17-406 of the Subdivision Regulations.

STAFF RECOMMENDATIONS

This property division appears to follow the intent of the family partition section of the ordinance. The owner(s) have owned the property for at least three years or prior to January 1, 2015 as required by Paragraph 17-4026.B. In the event the commission concurs with the staff analysis, staff recommends approval contingent on addressing the six comments on the final map as listed above and all of the required conveyance documents being completed and recorded according to Paragraph 17-4026.F of the Subdivision Regulations.



Lot B-3-4-B

DEDICATION: THE RIGHT OF WAY OF STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC. ALL AREAS SHOWN AS SERVITUDES ARE GRANTED TO THE PUBLIC FOR USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL OR OTHER PROPER PURPOSE FOR THE GENERAL USE OF THE PUBLIC. NO BUILDINGS, STRUCTURE, OR FENCE SHALL BE CONSTRUCTED, NOR SHRUBBERY PLANTED WITHIN THE LIMITS OF ANY SERVITUDE SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE IS GRANTED.

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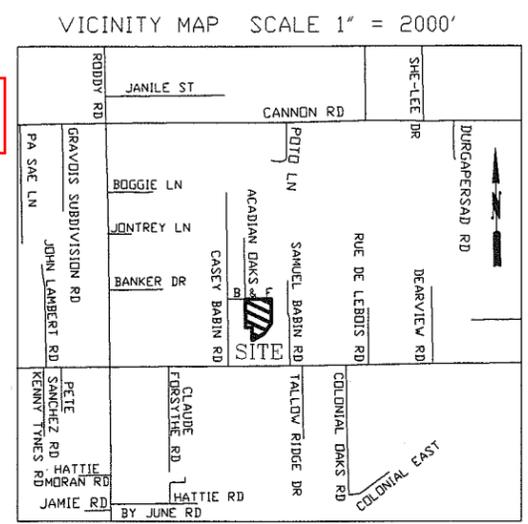
THE PRIVATE ACCESS SERVITUDE SHOWN HEREON IS HEREBY DEDICATED AS A MEANS OF ACCESS TO LOT B. NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE, OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY PRIVATE DRIVEWAY SERVITUDE SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH THE PURPOSE FOR WHICH THE SERVITUDE IS GRANTED.

NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE ASCENSION PARISH HEALTH UNIT.

ANY NEW DRAINAGE DITCH REQUIRED BY THE SUBDIVISION OF THIS PROPERTY FOR THE PURPOSE OF TRANSPORTING RUNOFF OR SEWAGE EFFLUENT TO AN EXISTING PARISH MAINTAINED DITCH SHALL BE CONSTRUCTED BY THE PROPERTY OWNER(S).

SOURCE OF WATER SUPPLY SHALL BE APPROVED BY THE ASCENSION PARISH HEALTH UNIT.

I HEREBY CERTIFY I WILL TRANSFER THE ABOVE LOTS ONLY TO THE DESIGNATED FAMILY MEMBERS AS SHOWN ON THIS PLAT.



Add last sentence as shown on the plat submittal checklist.

SUBDIVIDER GEORGE BABIN, JR. DATE

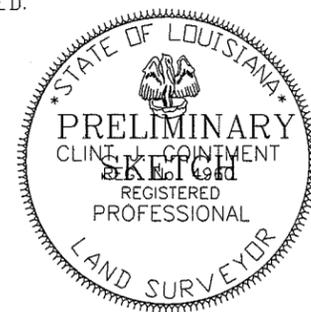
APPROVED: ASCENSION PARISH PLANNING COMMISSION

DATE:

P.C. FILE #:

FAMILY PARTITION OF LOTS B-3 AND B-4 OF THE GEORGE BABIN PROPERTY, INTO LOTS B-3-4-A AND B-3-4-B, SITUATED IN THE NW 1/4 OF SEC. 22, T9S, R3E, SED., EAST OF THE MISS. RIVER, ASCENSION PARISH, LA.

NOTE: THIS IS AN EXCHANGE OF AREAS, NO NEW LOTS ARE BEING CREATED.



W. J. COINTMENT SURVEYORS
PROFESSIONAL LAND SURVEYING
CLINT J. COINTMENT, PLS
11411 BON TERRE BLVD.
GONZALES, LA. 70737
PH. 225-644-5454 FAX. 225-644-5248

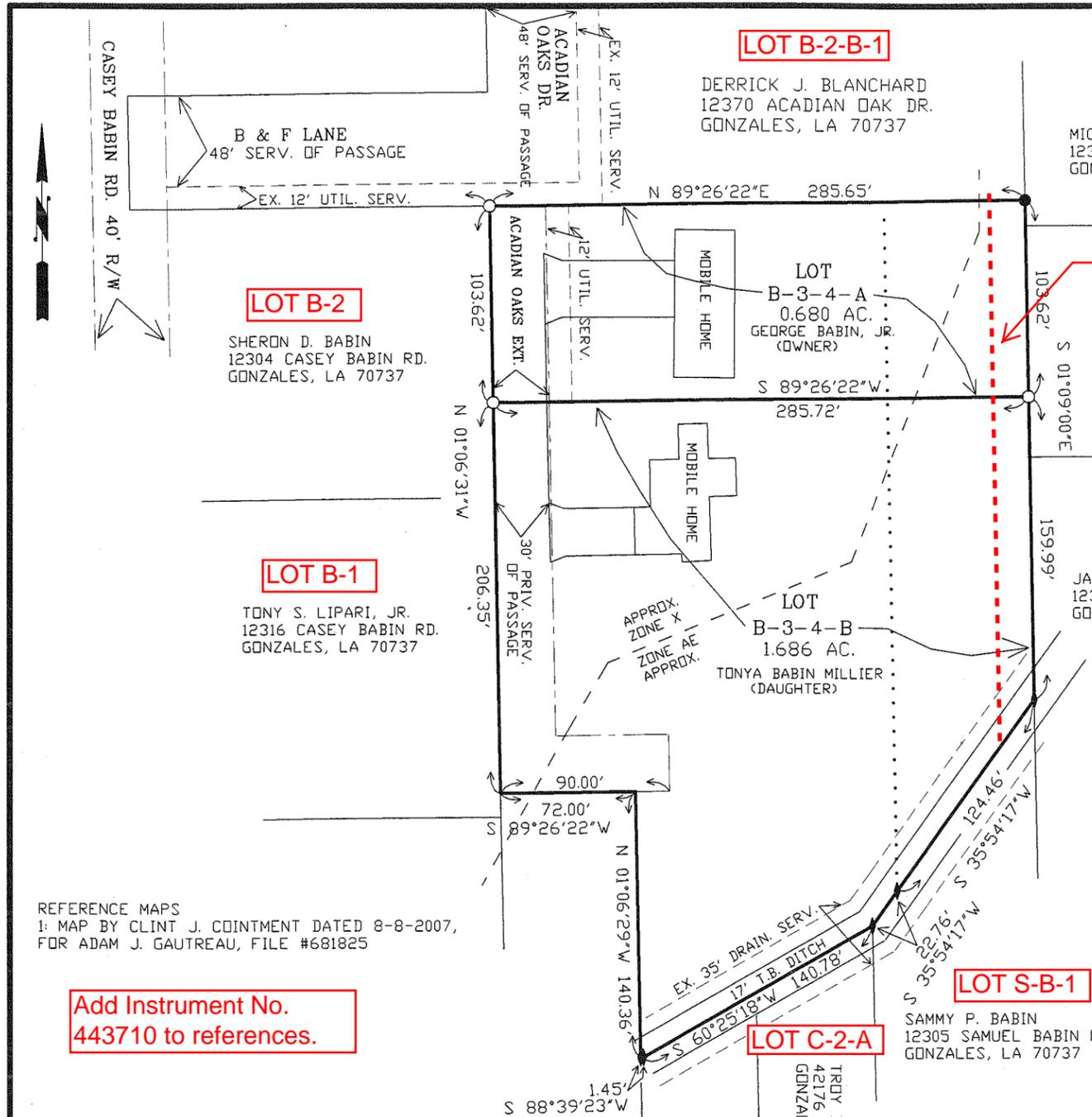
CERTIFICATION THIS PLAT WAS PREPARED AND CERTIFIED FOR THE EXCLUSIVE USE OF

GEORGE BABIN, JR. PRELIMINARY NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT. CLINT J. COINTMENT, PLS REG. 4960

SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITY WITHOUT EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON. I CERTIFY PLAN IN ACCORDANCE WITH MINIMUM STANDARDS FOR BOUNDARY SURVEYS TITLE 46 LXI AND REVISED STATUTES 33:5051 GONZALES, LA. SCALE 1"= 80' DATE: 11-9-2016

CLINT J. COINTMENT, PLS. LAND SURVEYOR

7542 16632
4085



REFERENCE MAPS
1: MAP BY CLINT J. COINTMENT DATED 8-8-2007, FOR ADAM J. GAUTREAU, FILE #681825

Add Instrument No. 443710 to references.

NO ATTEMPT HAS BEEN MADE BY W.J. COINTMENT SURVEYORS TO VERIFY ACTUAL LEGAL OWNERSHIP TITLE, DEED RESTRICTIONS, SERVITUDES, EASEMENTS, RIGHTS OF WAYS OR OTHER ENCUMBRANCES ON THE PROPERTY AS SHOWN ON THIS PLAT OTHER THAN THOSE FURNISHED BY THE OWNER OR CLIENT.

GPS MEASUREMENTS, LSU GULF NET, VRS, NORTH AMERICAN DATUM (1983), LAMBERT CONFORMAL CONIC PROJECTION, LOUISIANA SOUTH ZONE, STATE PLANE COORDINATE SYSTEM.

BASE BEARING FROM THE ORIGINAL DRAWING OF THIS WORK IS THE PROPERTY OF W.J. COINTMENT SURVEYOR. REPRODUCTION OF THIS PRINT IS PROHIBITED EXCEPT BY WRITTEN PERMISSION OF THIS FIRM. ADDITIONAL INFORMATION IS OFTEN ADDED IN A CONTINUOUS UPDATING PROCESS. CHECK FOR LATEST REVISION DATE BEFORE ACTING ON DATA SHOWN. THIS FIRM IS NOT RESPONSIBLE FOR ACTIONS OR PROJECTS TAKEN BASED UPON OBSOLETE DRAWINGS FOR WHICH THIS FIRM WAS NOT SPECIFICALLY CONSULTED AND WRITTEN PERMISSION RECEIVED. SERVITUDES AND/OR RIGHTS-OF-WAY OTHER THAN THOSE NOTED MAY EXIST ON THIS PROPERTY AND OWNERS OR POTENTIAL BUYERS SHOULD BE AWARE THAT ABSTRACTING OF TITLE TO THIS PROPERTY, TO SHOW ALL ENCUMBRANCES, WAS NOT WITHIN THE SCOPE OF THIS SURVEY.

- LEGEND
- CLASS "C" SURVEY
 - SET IRON RODS 1/2"
 - FOUND IRON PIPE 1/2"
 - FOUND NAIL & WASHER
 - SET NAIL & WASHER
 - LDH R/W MARKER
 - POWER POLE
 - CALCULATED POINT

APPROX. BASE FLOOD ELEV. = 8.0'
DELINEATION OF JURISDICTION WETLANDS HAS NOT BEEN REQUESTED NOR IS PART OF THIS SURVEY.
ACCORDING TO THE FED. EMERGENCY MGMT. AGENCY FED. INSURANCE ADM. FLOOD HAZARD BOUNDARY MAP COMM. 220013-0045 E (8-16-2007) OF ASCENSION PARISH, LA. THIS PROPERTY LIES WITHIN FLOOD HAZARD ZONE X & AE PARISH ZONING RM PER MAP DATED 8-3-2011

110E

REVISIONS:

ASCENSION PARISH ZONING SETBACKS
ASCENSION PARISH ZONE - RM
FRONT SETBACKS: 25' OR 55' FROM STREET CENTERLINE, WHICHEVER IS GREATER.
SIDE SETBACKS: 5'
REAR SETBACKS: 20'
NOTE: ALL EX. STRUCTURES WITHIN SETBACKS ARE INDICATED ON PLAT AND LABELED AS NON-CONFORMING.



Description: Wilmer LeBlanc Tanner Property - Lots A, B & C
McLin Taylor, Inc.
(Council District 2)

ATTACHMENTS:

Description	Upload Date	Type
Wilmer L Tanner	12/7/2016	Cover Memo
Wilmer L Tanner Plat	12/7/2016	Cover Memo

December 14, 2016

FAMILY PARTITION

C) **Wilmer Leblanc Tanner Property – Lots A, B and C**

The subject property is located on the south side of LA Hwy 936 approximately 1,300 feet east of the intersection of LA Hwy 936 and Melancon Road in Council District 2 and is zoned Rural (R). The application is on behalf of Wilmer L. Tanner by McLin Taylor, Inc. Surveyors.

The owner is proposing a family partition of an unnamed tract (19.883 acres) into Lot A (4.00 acres), Lot B (7.942 acres) and Lot C (7.941 acres). The applicant will retain no Lot and transfer Lot A to a daughter, Lot B to a daughter, and Lot C to a son. Lots B and C will be accessed by a 30' servitude of passage off of LA Hwy. 936 and will include a 12' utility servitude across Lots A and B as required.

STAFF REVIEW COMMENTS

Comments sent to McLin Taylor by email on 11-15-16:

1. Show existing building(s) on property.
2. Front building line is 75' from center line of state highway (Lot A).
3. Building line can be reduced by half on 'corner' lot (Lot A).
4. To be consistent, show 25' building line along eastern boundary of Lot C.

All other items as per ordinance have been addressed on the plat along with the required notes, labels, setbacks and servitudes as per Paragraph 17-406 of the Subdivision Regulations.

STAFF RECOMMENDATIONS

This property division appears to follow the intent of the family partition section of the ordinance. The owner(s) have owned the property for at least three years or prior to January 1, 2015 as required by Paragraph 17-4026.B. In the event the commission concurs with the staff analysis, staff recommends approval contingent on addressing the four comments on the final map as listed above and all of the required conveyance documents being completed and recorded according to Paragraph 17-4026.F of the Subdivision Regulations.



Description: **Family Court Mobile Home Park Expansion**
B. M. Aguillard & Associates, LLC
(Council District 10)

ATTACHMENTS:

Description	Upload Date	Type
Family Court Mobile Home Park Expansion	12/7/2016	Cover Memo
Family Court MH Park Exp-ERA Final Review Letter	12/7/2016	Cover Memo
Family Court MH Park Expansion Plat	12/7/2016	Cover Memo

December 14, 2016

MOBILE HOME PARK EXPANSION

A) Family Court Mobile Home Park - Site Plan Expansion

PUBLIC HEARING FOR GRANTING PRELIMINARY APPROVAL TO THE MOBILE HOME PARK SITE PLAN EXPANSION

The subject property is located on the south side LA Hwy. 429 (Weber City Road), approximately 825' east of Denham Road and just under one mile west of the intersection with LA 431. The property is in Council District 10 and is zoned Medium Intensity Residential (RM). The application is on behalf of Dustin Clouatre by B.M. Aguillard and Associates, LLC.

The owner is proposing an expansion to the existing Family Court Mobile Home Park, with a current developed footprint of 13.39 acres. The proposed expansion is at the rear of the property and will add an additional nineteen (19) lots on 4.7 acres of land. The average lot size is 40' x 145' (5,800) square feet and each trailer site includes a minimum 18' x 24' concrete parking pad. Access to each Mobile Home site will be on a 20' width, 8" thick concrete curb and gutter roadway on a 12" thick granular base within a 50' private servitude of access. The existing utilities will be expanded to accommodate the additional Mobile Home lots as will the existing sewer treatment plant. There is a 1.23 acre portion dedicated to open space/recreational area included within the total 4.7 acres of expansion. A six (6) foot solid wood fence will be provided along the western and southern boundary of the addition, along with a 20' buffer provided to the west and a 39' buffer provided to the south. There will be a minimum .5 cu. ft. capacity garbage hopper provided for each family per week. Each lot will include one tree from the following list: Bald Cypress, Southern Magnolia and Red Maple.

The applicant is asking for a waiver from the required street section consisting of 1.5" asphalt surface with an 8.5" soil cement base course to allow the use of an 8" thick concrete access drive.

Project Timeline:

According to records, the park was first licensed in or around 1995 as Denham Trailer Park with twenty-three (23) - 40' x 120' lots. In 2008 it became Avanti Trailer Park, and in 2016 the property was purchased by the applicant and renamed Family Court Mobile Home Park. It has been in continuous operation, being permitted yearly.

STAFF/ERA SITE PLAN/PRELIMINARY PLAT REVIEW COMMENTS (see attached Preliminary Plat Comments)

ENGINEER REVIEW COMMENTS

Drainage impact study:

The drainage impact study has been reviewed by the Engineer Review Agent (ERA). Comments are attached.

Traffic impact study:

The traffic impact study has been reviewed by the Engineer Review Agent (ERA). Comments are attached.

STAFF RECOMMENDATIONS

The site plan for this Mobile Home Park expansion along with the drainage and traffic impact studies have been reviewed and found to conform with the requirements of Appendix VIII – Mobile Home Park Regulations. All comments made by the Staff/ERA have been addressed. Should the commission concur with these findings; staff recommends approval of the site plan submission with the following additional acceptance.

- Street/Drive cross section waiver is granted to allow an 8” concrete access drive.



December 5, 2016

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

CSRS, INC.
6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808

Phone. (225) 769-0546

Fax. (225) 767-0060

**RE: Family Court Trailer Park
Preliminary Plat Review**

Mr. Fournier:

As the Engineering Review Agency for the Ascension Parish Planning Commission, we have reviewed the Preliminary Plat, Drainage Impact Study, and Traffic Impact Study submitted for the above referenced development for compliance with the Ascension Parish Subdivision Regulations and the Ascension Parish Development Code. Shown below are the comments made to the Consulting Engineer for the project as a result of our review of their submittals, as well as a description of their correction or response made to our comments (**shown in bold print**).

Preliminary Plat

1. Per Section 17-4045-E of the Ascension Parish, all ponds require a 30-foot servitude from the inlet to the outlet of the pond. Depict this servitude on the plat. **This has been updated on the plat.**
2. Add note: "All structures shall be constructed a minimum of one foot above FEMA BFE and top elevation of nearest adjacent sanitary sewer manhole on the sewer collection system servicing the proposed structure." **This note has been added to the plat.**
3. A note is required regarding private ownership and maintenance of lake/pond and shoreline and that Ascension Parish does not own or maintain lake/pond and shoreline. **This note has been added to the plat.**
4. Depict the offsite pond and the proposed connection to the pond. **This has been updated on the plat.**
5. Show the outfall location of the proposed pond. **This has been updated on the plat.**
6. The typical section notes two 20' wide lanes instead of 10' lanes as depicted in the typical mobile home space detail and stated in the drainage study report. Revise typical section to match plat and drainage study. Ensure all other dimensions on the typical street section (i.e. ROW width, utility servitude, etc.) are correct as well. **This has been updated on the plat.**
7. Change side drain boxes in the street typical section to concrete instead of brick as currently depicted. **This has been updated on the plat.**

8. Show the location of the updated sewer system as noted on the plat. **This has been added to the plat.**
9. There needs to be a dedicated tract for the recreational area. This area should be clearly pointed to and labeled. **This has been updated on the plat.**
10. Based on aerial imagery, the dedicated recreational area appears to have existing housing within the boundaries drawn on the plat. Ensure this area is depicted accurately. **Consultant moved dedicated recreational area.**
11. The dedicated recreational area is detached from the proposed mobile homes and the accessibility to this area is unclear. Provide additional information on how residents will access the recreational site. **Consultant moved dedicated recreational area.**
12. Depict the sanitary sewer stub-ups on the typical street section. **This has been added to the typical street section.**
13. Section 17-8049D only allows 1.5" asphalt wearing surfaces on top of 8.5" soil cement base course. Although we agree that 8" thick concrete exceeds these requirements, a waiver will need to be obtained due to deviation from the ordinance. Waiver request note should state: "(Section 17-8049D) Requesting waiver to allow 8" thick concrete access drive in lieu of 1.5" asphalt wearing surface on top of 8.5" soil cement base course." **Consultant added waiver request note to the plat.**
14. Per Section 17-8049, add note: "Any mobile home park or portion thereof which is located within the special flood plain hazard area defined by the Federal Insurance Administration (FIA) shall be required to comply with the provisions of the Flood Insurance Act of 1968, the Flood Disaster Act of 1973 and all applicable FIA Regulations." **This note has been added to the plat.**
15. Per Section 17-8051A, minimum of 10' wide utility servitudes are required. The typical street section shows 12' utility servitudes, but the typical mobile home space and plat show 15' widths. Review and revise for consistency. **This has been updated on the plat.**
16. Per Section 17-8049, where only one drive is to be provided, each trailer park shall include an adequate circular turnaround at the rear of the property with a minimum inside radius of 30 feet for garbage trucks and other vehicles. Therefore, update plat to reflect this requirement. **This has been updated on the plat.**
17. Note each servitude as public or private. **This has been updated on the plat.**
18. Hatch site location in vicinity map. **This has been updated on the plat.**
19. Show all existing buildings, streets, all other infrastructure, utilities, ponds, lakes, ditches, water courses, rights of way, servitudes and easements. Label any pre-existing structures or servitudes as existing. **This has been updated on the plat.**

20. Add Section, Township and Range to map. **This has been updated on the plat.**
21. There appears to be an existing drainage ditch and servitude in the northern portion of the property. Please verify and label appropriately. **This has been updated on the plat. Consultant stated there is no servitude on this ditch.**
22. List setbacks for current zoning category on map. **This has been updated on the plat.**
23. The road currently labeled as Hwy 929 is incorrect and should be revised to Hwy 429. **This has been updated on the plat.**
24. Show footprint of existing development/buildings and infrastructure and add chart including desired expansion ensuring that expansion is no more than 50% of existing non-conforming use. **This has been updated on the plat.**
25. Place note on map stating, "This project is subject to Paragraph 17-2071.G.1.c of the Ascension Parish Development Code and as such, the applicant understands that this will be the only expansion allowed for this non-conforming use." **This note has been added to the plat.**
26. Show school districts and utility service providers on map. **This has been updated on the plat.**
27. Revise Note 7 to reference Ascension Parish instead of East Baton Rouge Parish. **This has been updated on the plat.**
28. Add adjacent property owner 'Nathan Solar' to map. **This has been updated on the plat.**
29. Add lot numbers/designations to adjacent property owner information on plat. **This has been updated on the plat.**
30. Include 20' side and rear yard buffers on layout. **This has been updated on the plat.**
31. Add street name and ROW of the proposed street extension. **This has been updated on the plat.**
32. Applicant shall submit proposed wetland delineation or Jurisdictional Wetlands Determination as required by Section 17-406 of the Ascension Parish Subdivision Regulations. **Consultant provided preliminary wetland delineation.**
33. Add note: "This project is subject to traffic impact fees in accordance with Ascension parish ordinances." After consulting with Carl Ladmiraault in the Ascension Parish Utilities Dept., this project will NOT be subject to Sewer Development Fees as the applicant is expanding an existing Private Sewer System. Please remove mention of sewer development fees from note referenced in #5. **This has been updated on the plat.**
34. Submit a site plan review letter from the Fire Chief of the fire department responsible for providing service to the project location. **Consultant submitted review letter from Fire Chief.**

35. Show 6' minimum height fence to be constructed at property boundaries as required. **This has been updated on the plat.**
36. Depict servitudes of the Shell & Marathon pipelines and note servitude widths for each. **A 30' right of way was added to the plat, but consultant stated this could be subject to change as they are waiting on an abstract.**
37. Increase the dimension number sizes in the typical street section so they are legible. **This has been updated on the plat.**

Drainage Study

1. The report states that pre-developed 10 and 100-year runoff from the site yields 85.5 and 137.7 cfs, but this is accounting for the entire front portion of the property, which is not being analyzed in post-developed conditions. Therefore, this should be changed to 34 and 53.75 cfs respectively in order to provide a more accurate comparison between pre and post-development. Furthermore, the study notes that the proposed conditions produces 85 and 137 cfs of runoff. Post-development is only accounting for the runoff not being detained by the pond and the detention pond outfall runoff, equating to about 34 and 53.75 cfs respectively. Update report to match model output. **Consultant updated report.**
2. Per Section 17-508B, all detention facilities shall properly account for the tailwater condition of the receiving stream at the same time increment that the detention system is discharging into the receiving stream. Therefore, update pond 7P model to account for tailwater downstream of the control structure. **Consultant updated report to state, "Tail-water was not accounted for because the outfall of the pond is 5.0' and the invert of the ditch is approximately 2.0'. The ditch is only 2' deep. The discharge of the pond will add less water to the ditch than pre-development conditions."**
3. The study suggests offsite drainage improvements are needed in order to connect the proposed pond to the adjacent offsite pond. Because this appears to be necessary in order for the drainage design to work as modeled, a drainage servitude agreement needs to be obtained from the adjacent property owner before final approval of this project. **Consultant removed new pond and expanded existing pond instead.**
4. Because there are areas on this site below BFE, provide preliminary estimates for how much flood plain volume this site provides, how much storage is taken away from the proposed fill, how much additional storage will be generated, and note the proposed method for storage creation. **Consultant provided in report.**
5. The drainage plans show that no offsite water comes on to the site. Please confirm that this is accurate. **Consultant added drainage arrows to the topo showing the adjacent property runoff direction.**

Traffic Study

No comments

Drainage Impact Study Summary:

Consulting Engineer: Brian Aguillard, P.E., P.L.S., BMA Civil Engineering & Land Surveying
Date of Study: September 2016
Size of Development: 4.6 acres
Existing Land Use: Grass/Trees
Receiving Basin: Southern ditch
FEMA Flood Zone: AE
100-year Flood Elevation: 8.0 ft
Offsite Drainage Area: None
Fill Mitigation: Fill mitigation is being addressed with the existing pond expansion.
Storm Water Mitigation: Detention pond

The Drainage Impact Study substantially conforms to the requirements of the Drainage Impact Study Policy included in the Subdivision Regulations. The Engineering Review Agency has performed a review of the input parameters and results of the submitted drainage calculations for compliance with the Subdivision Regulations and generally accepted practices for storm water hydrologic design. The Engineering Review Agency has not performed a detailed numerical check of the analysis submitted. Upon approval of the preliminary plat, the applicant can proceed with final drainage design in accordance with the concepts submitted in the impact study.

Traffic Impact Study Summary:

Consulting Engineer: Vectura Consulting Services, LLC
Date of Study: September 2016
Number of Proposed Lots: 19
Peak Hour P.M. Trips: 11
Study Threshold Level: 0
Conclusion: No improvements are required.
Sight Distance Evaluation: Sight distance was evaluated at the current condition and concluded that sight distance will cause no traffic operational problems for this proposed development.

The following items should be considered by the Planning Commission in their analysis of the case:

- **No comments.**

Should you have any questions or comments, please do not hesitate to contact me at (225) 769-0546.

Sincerely,

Engineer Review Agency for the Ascension Parish Planning Commission



Shaun Sherrow, P.E.

CC: Brian Aguillard, P.E., P.L.S., BMA Civil Engineering & Land Surveying



Description: **Shady Oaks RV Park Expansion**
Louisiana Land Engineering, LLC
(Council District 5)

ATTACHMENTS:

Description	Upload Date	Type
Shady Oaks RV Park Expansion	12/7/2016	Cover Memo
Shady Oaks RV Park Exp ERA Final Review Letter	12/7/2016	Cover Memo
Shady Oaks RV Park Expansion Plat	12/7/2016	Cover Memo
Shady Oaks RV Park Exp Planting Plan	12/7/2016	Cover Memo

MOBILE HOME PARK EXPANSION

B) Shady Oaks Mobile Home Park - Site Plan Expansion

PUBLIC HEARING FOR GRANTING PRELIMINARY APPROVAL TO THE MOBILE HOME PARK SITE PLAN EXPANSION

The subject property is located on the north side Moody Dixon Road at Valmon Roddy Road, approximately 1,960' west of LA Hwy. 933. The property is in Council District 5 and is zoned Rural (R). The application is on behalf of Phillip Lind by Louisiana Land Engineering, LLC.

The owner is proposing an expansion to the existing Mobile Home Park, with a current developed footprint of approximately 9 acres. The proposed expansion is at the front of the property and will add an additional sixteen (16) RV spaces on approximately 1.5 acres of land. The average lot size is 30' x 50' (1,500) square feet and each site includes a minimum 9' x 20' 4" thick concrete parking pad. Access to each RV site will be on a 20' width, 1-1/2" thick asphalt drive on an 8-1/2" soil cement base within a 50' private servitude of access. The existing utilities will be expanded to accommodate the additional RV spaces as will the existing private sewer treatment plant. There is a .40 acre portion dedicated to open space/recreational area included within the total 1.5 acres of expansion. A six (6) foot solid wood fence will be provided along the western and southern boundary of the addition, along with the required bufferyard. There will be a minimum .5 cu. ft. capacity garbage hopper provided for each family per week. The expansion will be landscaped according to the attached landscape plan.

Project Timeline:

According to records, the park was first licensed by Valmon Roddy in 1986 as Shady Oaks Mobile Home Park with forty-nine (49) - 40' x 100' lots. In 2006 the property was purchased by the applicant. It has been in continuous operation, being permitted yearly.

STAFF/ERA SITE PLAN/PRELIMINARY PLAT REVIEW COMMENTS (see attached Preliminary Plat Comments)

Additional Comment:

- The attached Landscape plan has been reviewed by staff and found to conform to the requirements of the ordinance.

STAFF/ERA SITE PLAN/PRELIMINARY PLAT REVIEW COMMENTS (see attached Preliminary Plat Comments)

ENGINEER REVIEW COMMENTS

Drainage impact study:

The drainage impact study has been reviewed by the Engineer Review Agent (ERA). Comments are attached.

Traffic impact study:

The traffic impact study has been reviewed by the Engineer Review Agent (ERA). Comments are attached.

STAFF RECOMMENDATIONS

The site plan for this Mobile Home Park expansion along with the drainage and traffic impact studies have been reviewed and found to conform with the requirements of Appendix IX – Recreation Vehicle Park Regulations. All comments made by the Staff/ERA have been addressed. Should the commission concur with these findings; staff recommends approval of the site plan submission.



December 5, 2016

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

CSRS, INC.
6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808

Phone. (225) 769-0546

Fax. (225) 767-0060

**RE: Shady Oaks RV Park
Preliminary Plat Review**

Mr. Fournier:

As the Engineering Review Agency for the Ascension Parish Planning Commission, we have reviewed the Preliminary Plat, Drainage Impact Study, and Traffic Impact Study submitted for the above referenced development for compliance with the Ascension Parish Subdivision Regulations and the Ascension Parish Development Code. Shown below are the comments made to the Consulting Engineer for the project as a result of our review of their submittals, as well as a description of their correction or response made to our comments (**shown in bold print**).

Preliminary Plat

1. Add note: "All structures shall be constructed a minimum of one foot above FEMA BFE and top elevation of nearest adjacent sanitary sewer manhole on the sewer collection system servicing the proposed structure." **This has been added to the plat.**
2. A note is required regarding private ownership and maintenance of lake/pond and shoreline and that Ascension Parish does not own or maintain lake/pond and shoreline. **This has been added to the plat.**
3. Show the culvert and emergency weir outfall locations of the proposed pond. **This has been updated on the plat.**
4. Depict the sanitary sewer stub-ups on the typical street section. **This has been updated on the plat.**
5. Show the sanitary sewer line routing to the existing treatment plant. **This has been updated on the plat.**
6. Note each servitude as public or private. **This has been updated on the plat.**
7. Delineate between flood zones AE and X on the plat. **This has been updated on the plat.**
8. Provide a copy of the DHH discharge permit approval to Ascension Parish. **DHH permit has been provided.**

9. Provide note in the typical section that the soil cement is to be installed as per DOTD Section 302 and that the asphaltic concrete be required to be Superpave Asphaltic Concrete, Level A, as per DOTD 2006 Standard Specifications. **This has been updated on the plat.**
10. The current use is non-conforming in the Rural zoning classification and according to Paragraph 17-2071.G.1.c of Appendix II-Development Code: "A nonconforming land use may be expanded by no more than 50% of the original nonconforming site." Based on the site plan presented, the expansion appears to conform with this regulation. Please add a note to the plat: *"This project is subject to Paragraph 17-2071.G.1.c of the Ascension Parish Development Code and as such, the applicant understands that this will be the only expansion allowed for this non-conforming use."* **This has been updated on the plat.**
11. The building line from a public ROW is 25' and 20' from a servitude of access. Add these setback lines to the site plan. **This has been updated on the plat.**
12. The 12' utility servitude MAY be included within the 50' servitude of passage on both sides OR outside of the rear of each lot but should be noted on the plat. Revise the road section accordingly. **This has been updated on the plat.**
13. Add to 'Existing Tin Shed' note – 'to be Removed'. **This has been updated on the plat.**
14. Note that existing fence meets the 6' height requirement and label as such on plan. **This has been updated on the plat.**
15. In 'Common Area Dedication' note, remove "Ironwood Estates Homeowners Association" and replace with, "Shady Oaks RV Park Homeowners Association" if there is to be an association. **This has been updated on the plat.**
16. Add to note 16: "20' from Private Servitude of Access" **This has been updated on the plat.**
17. Submit Landscape Plan as noted in 17-1940.A.13. **Landscaping plan has been provided.**
18. Add chart to map with total acreage of RV expansion and recreation area showing that plan meets minimum requirements. **This has been updated on the plat.**
19. Show approximate location/spacing of street lights. **This has been updated on the plat.**
20. Show typical 'lot' detail including drive as well as the min. 9' x 20' concrete parking pad. **This has been updated on the plat.**
21. On the 'Typical Site Layout', the private drive is listed as 22' width. This should be revised to 20' as noted in the typical section and notes. **This has been updated on the plat.**

22. Provide a legend or labels for the shaded/unshaded regions to differentiate the flood zones. **This has been updated on the plat.**

Drainage Study

1. Provide preliminary stamp on the title sheet. **Consultant provided in DIS.**
2. According to the report and the post-developed watershed map, 0.7 acres in the front of the property drains undetained to the roadside ditch. However, the Pond Pack model does not account for this area being routed directly to the Outfall. Update model to include this area and revise report/calculations as necessary. **Consultant updated model and report to include area.**
3. Provide visual station locations for the HEC-RAS model. **Consultant provided station layout.**

Traffic Study

No comments

Drainage Impact Study Summary:

Consulting Engineer:	Jeff Cook, P.E., Louisiana Land Engineering, LLC
Date of Study:	November 2016
Size of Development:	3.1 acres
Existing Land Use:	Pasture and trees
Receiving Basin:	Moody Dixon Rd. roadside ditch
FEMA Flood Zone:	AE and X
100-year Flood Elevation:	18 ft
Offsite Drainage Area:	2.5 acres upstream
Fill Mitigation:	Fill mitigation is being addressed with the proposed pond.
Storm Water Mitigation:	Detention pond

The Drainage Impact Study substantially conforms to the requirements of the Drainage Impact Study Policy included in the Subdivision Regulations. The Engineering Review Agency has performed a review of the input parameters and results of the submitted drainage calculations for compliance with the Subdivision Regulations and generally accepted practices for storm water hydrologic design. The Engineering Review Agency has not performed a detailed numerical check of the analysis submitted. Upon approval of the preliminary plat, the applicant can proceed with final drainage design in accordance with the concepts submitted in the impact study.

Traffic Impact Study Summary:

Consulting Engineer:	Vectura Consulting Services, LLC
Date of Study:	October 2016
Number of Proposed Lots:	16
Peak Hour P.M. Trips:	9
Study Threshold Level:	0

Conclusion: No improvements are required.
Sight Distance Evaluation: Sight distance was evaluated at the current condition and concluded that sight distance will cause no traffic operational problems for this proposed development.

The following items should be considered by the Planning Commission in their analysis of the case:

- **No comments.**

Should you have any questions or comments, please do not hesitate to contact me at (225) 769-0546.

Sincerely,

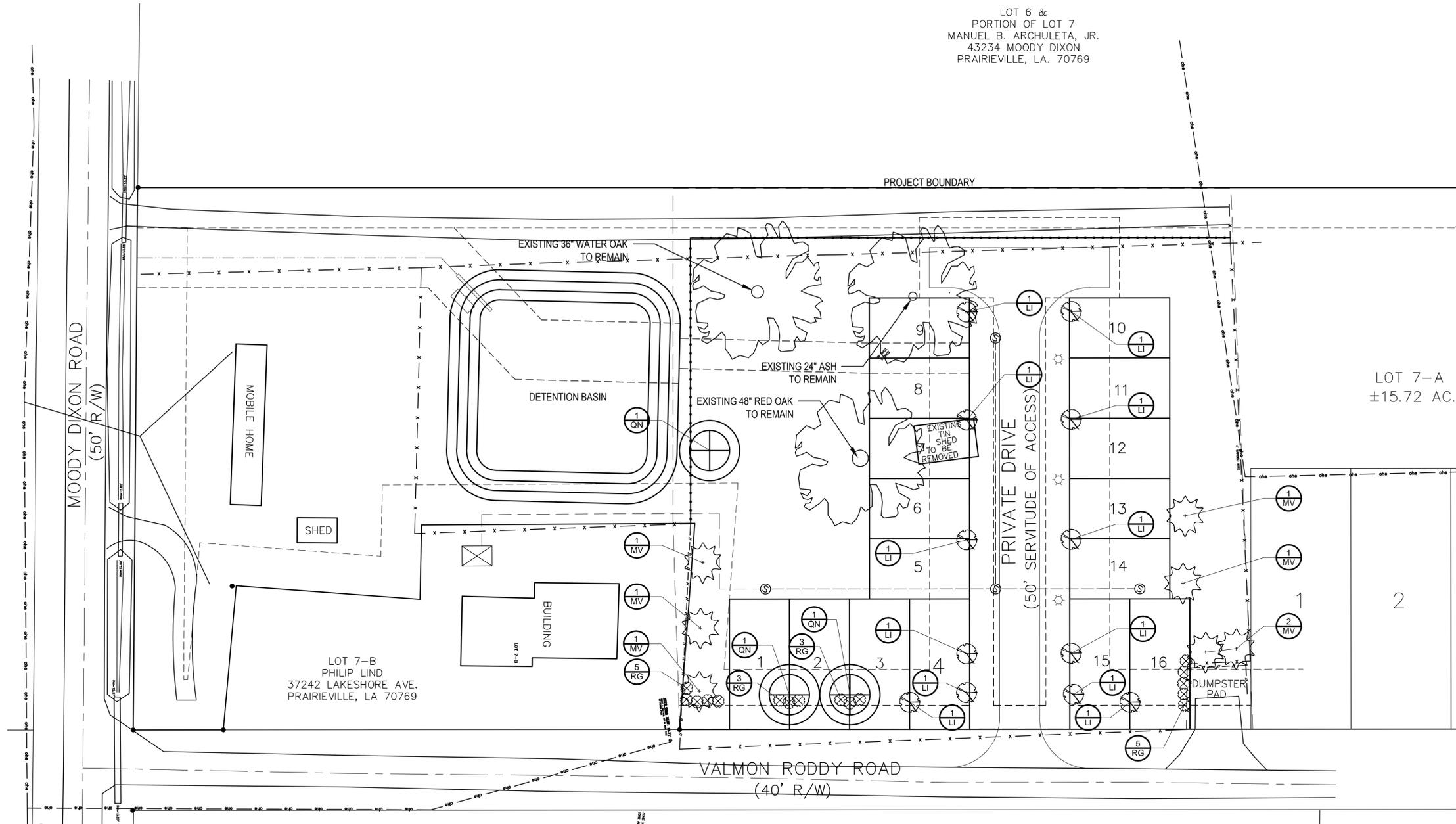
Engineer Review Agency for the Ascension Parish Planning Commission



Shaun Sherrow, P.E.

CC: Jeff Cook, P.E., Louisiana Land Engineering, LLC

LOT 6 &
 PORTION OF LOT 7
 MANUEL B. ARCHULETA, JR.
 43234 MOODY DIXON
 PRAIRIEVILLE, LA. 70769



01 PLANTING PLAN
 SCALE: 1"=30'-0"

02 ORDINANCE REQUIREMENTS
 SCALE: NTS

Site Requirements:

Trees required:
 Along interior access drives.
 Within recreational area.

Landscaping required:
 Across front of park site.

03 PLANTING SCHEDULE
 SCALE: NTS

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT
	LI	12	Lagerstroemia indica 'Potomac' / Crape Myrtle	30 gal
	MV	7	Magnolia virginiana / Sweet Bay	30 gal
	QN	3	Quercus nuttallii / Nuttall Oak	30 gal
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE
	RG	16	Rhododendron x 'George L. Taber' / George L. Taber Azalea	3 gal



SHADY OAKS RV PARK
 PRAIRIEVILLE, LA

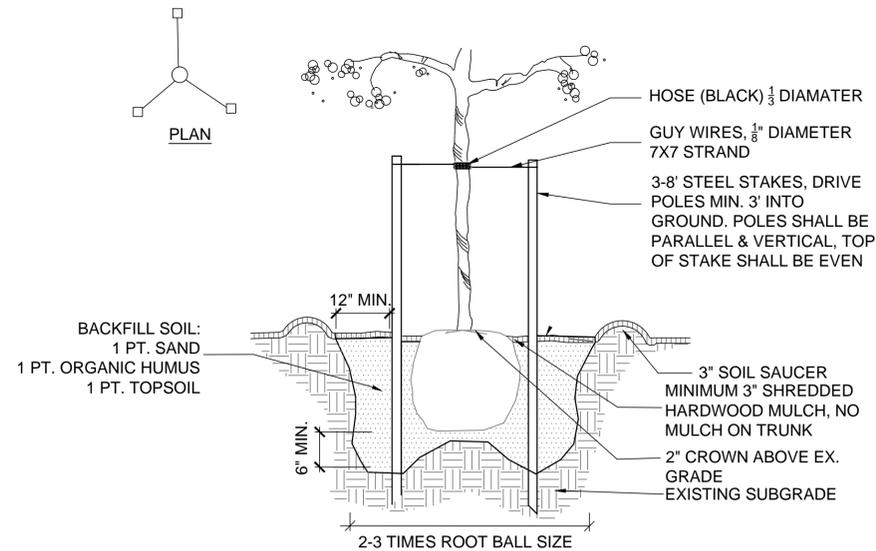
REVISION DATE



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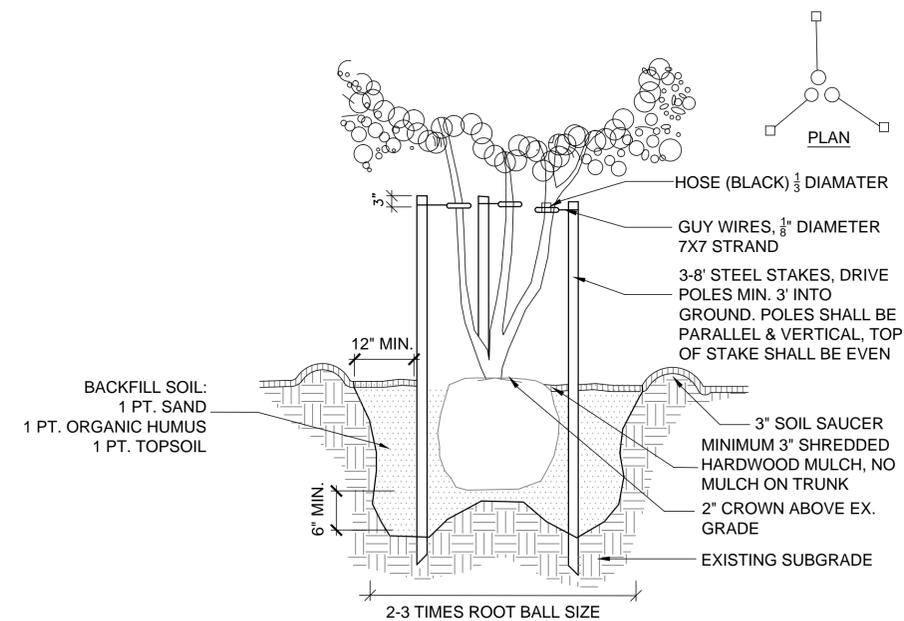


NOVEMBER 23, 2016
 ISSUE FOR PERMIT
 SHEET TITLE PLANTING PLAN
 SHEET NO. L1.1



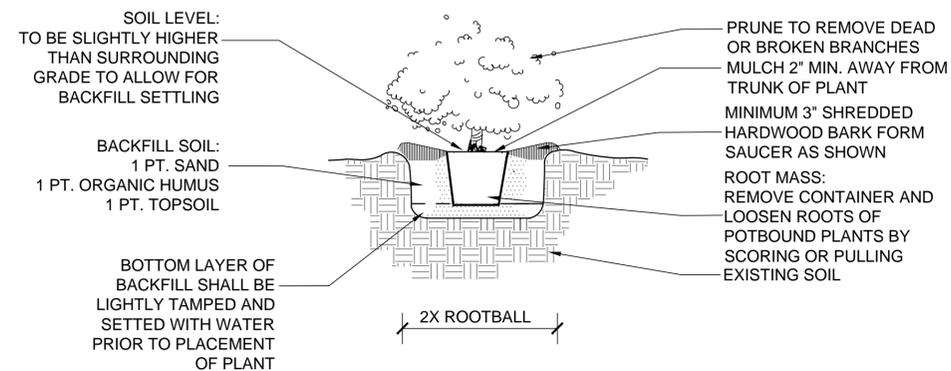
01 TREE PLANTING DETAIL

SCALE: N.T.S.



02 MULTI-TRUNK TREE PLANTING DETAIL

SCALE: N.T.S.



03 SHRUB PLANTING DETAIL

SCALE: N.T.S.

04 GENERAL NOTES:

SCALE: N.T.S.

- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES OF GOOD ARBORICULTURAL PRACTICE AS SET FORTH BY THE ANSI A300 AND IN THE LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY, LATEST EDITION, AS PUBLISHED BY THE LOUISIANA NURSERY AND LANDSCAPE ASSOCIATION, AND CURRENTLY IN EFFECT AT THE TIME OF SUCH WORK.
- PLANT MATERIAL SHALL BE TRUE TO NAME, VARIETY AND SIZE AND SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- PLANT MATERIALS SHALL BE COLD-HARDY FOR THE SPECIFIC LOCATION WHERE THEY ARE TO BE PLANTED.
- PLANT MATERIALS SHALL BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE ESTABLISHED WITH NO LOSS OF HEALTH.
- LOCATE ALL UTILITIES ON THE SITE PRIOR TO COMMENCING ANY WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE.
- ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
- APPLY FOR AND PROCURE REQUIRED PERMITS PRIOR TO COMMENCING WORK.
- STAKE OUT ALL TREE LOCATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
- PROVIDE PHOTOGRAPHS WITH SCALE FIGURES FOR TREES AND LARGE SHRUBS OR SAMPLE TREES FROM NURSERY FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.
- PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, AND OBTAINED FROM THE SAME SOURCE.
- ALL TREES ARE TO BE STAKED AND PLANTED AS SHOWN IN DETAILS.
- TREES SPECIFIED TO BE CONTAINER GROWN, TREES WHICH HAVE BEEN GROWN IN FIELD CONDITIONS AND PLACED IN CONTAINERS WILL BE NOT ACCEPTED. TREES GROWN IN GROW BAGS WILL BE NOT ACCEPTED.
- PLANTS SHALL BE WELL FORMED, NO. 1 GRADE OR BETTER NURSERY STOCK AND SHALL MEET THE APPLICABLE STANDARDS NOTED HEREIN AND SHALL BE SUBJECT TO REJECTION BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE MAY REJECT ANY MATERIALS THAT DO NOT MEET THE REQUIREMENTS OF THE PLANT LIST, DRAWINGS OR NOTES. REJECTED MATERIALS SHALL BE REMOVED BY THE CONTRACTOR AT NO COST TO THE OWNER. IN THE EVENT THAT THE MATERIALS ARE REJECTED, THE CONTRACTOR SHALL PURSUE AND EXAMINE OTHER SOURCES OF MATERIALS UNTIL ACCEPTABLE SPECIMENS ARE FOUND. SUCH A CHANGE WILL NOT CONSTITUTE AND INCREASE IN COST TO THE OWNER.
- CONTRACTOR SHALL EXCAVATE ALL CONTAMINATED OR STRUCTURALLY ENGINEERED SOILS PRIOR TO PLANTING (CONCRETE, REBAR, DEBRIS, ETC.)
- ALL TREES SHALL EQUAL OR EXCEED THE MEASUREMENTS SPECIFIED IN THE PLANT LIST AND ARE MINIMUM ACCEPTABLE SIZE. DIMENSIONS FOR HEIGHT AND SPREAD IN THE PLANT LIST REFER TO THE MAIN BODY OF THE TREE AND NOT FROM THE BRANCH TIP TO BRANCH TIP.
- CALIPER SIZES SHALL BE MEASURED SIX INCHES (6") ABOVE GROUND LEVEL.
- PLANTS MEETING THE REQUIREMENTS IN THE PLANT LIST, BUT NOT POSSESSING NORMAL BALANCE BETWEEN HEIGHT AND SPREAD, HAVE DAMAGED BARK AND DAMAGED LIMBS WILL BE NOT ACCEPTED.
- ALL TREES SHALL BE MULCHED 3" THICK USING A HARDWOOD MULCH CONSISTING OF COMPOSTED AND RECYCLED TREE AND BRUSH TRIMMINGS AND SHALL BE 95% HARDWOOD MATERIAL. THE MULCH SHALL INCLUDE PARTICLE SIZES WHICH ARE BETWEEN $\frac{1}{2}$ " AND 4". CYPRESS BARK WILL BE NOT ACCEPTED.
- WATER MANAGEMENT GEL SHALL BE MIXED WITH SOIL FOR EACH TREE AS PER MANUFACTURER'S RECOMMENDATIONS. THE GEL SHALL CONSIST OF A POLYMER WITH THE ABILITY TO RETAIN AND RELEASE AVAILABLE WATER TO THE ROOT ZONE.
- FERTILIZER SHALL BE 10-12-12 OR OTHER APPROVED BLEND, APPLIED AT THE RATE RECOMMENDED BY THE MANUFACTURER. ANY FERTILIZER THAT BECOMES WET, CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE WILL BE NOT ACCEPTED.
- ALL TREE PITS MUST BE LOOSENEED TO A DEPTH THAT ANY HARDPAN HAS BEEN BROKEN AND MOISTURE IS ALLOWED TO MOVE THROUGH FREELY. ALL TREES SHALL BE SET PLUMB ON UNDISTURBED SUB GRADE. THE TREE MUST BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TREE'S ORIGINAL GRADE IN NURSERY OR BE SLIGHTLY ABOVE (NO MORE THEN ONE AND ONE HALF INCHES) FINISHED GRADE. TREE SHALL SET ON UNDISTURBED SUBGRADE. TREES THAT ARE PLANTED TOO LOW OR THAT SETTLE BELOW FINISHED GRADE OR THAT ARE PLANTED TOO HIGH SHALL BE REPLANTED AT CONTRACTOR'S EXPENSE. ALL TREES MUST BE WATERED AT TIME OF PLANTING TO POINT OF SATURATION. BACKFILL AROUND ROOTBALL IN LAYERS TO PREVENT AIR POCKETS. DO NOT PACK THE SOIL TIGHTLY. USE LIGHT FOOT PRESSURE AND WATER TO GENTLY PACK THE SOIL. COMPLETELY REMOVE ALL WIRE BINDINGS AND TIES. COMPLETELY REMOVE BURLAP OR PEEL PACK BURLAP ON TOP 1/3 OF ROOT BALL AND CUT SIX 5 TO 10 INCH SLICES IN BURLAP, EVENLY SPACED AROUND ROOTBALL. PRUNE LOWER BRANCHES OF TREES WITH 1.5" TRUNK CALIPER OR GREATER, TO A MIN. HEIGHT OF 4'-0" ABOVE GROUND. NOTIFY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IMMEDIATELY OF ALL SUBSURFACE DRAINAGE OR SOIL CONDITIONS WHICH THE CONTRACTOR CONSIDERS TO BE DETRIMENTAL TO THE GROWTH OR SURVIVAL OF THE PLANT MATERIAL.
- ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN 1 MONTH OF SODDING SHALL BE RE-SODDED AS DIRECTED UNTIL A SATISFACTORY LAWN HAS BEEN ESTABLISHED.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK.
- FINAL ACCEPTANCE ALL TREES BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE WILL BE MADE ONLY IF ALL TREES ARE IN PLACE, LIVING AND ARE IN CONFORMANCE WITH THE DRAWING, PLANT LIST AND NOTES.

REVISION DATE



NOVEMBER 23, 2016

ISSUE
FOR PERMIT

SHEET TITLE
PLANTING DETAILS

SHEET NO.

L1.2



Description: Gateway Industrial Park, Second Filing, Phase 1
CSRS
(Council District 3)

ATTACHMENTS:

Description	Upload Date	Type
Gateway Industrial Park, 2nd Filing, Phase I	12/7/2016	Cover Memo
Gateway Industrial Park, 2nd F, Phase I-ERA Final Review Ltr	12/7/2016	Cover Memo
Gateway Industrial Park, 2nd F, Phase 2 - ERA Response Ltr DIS	12/7/2016	Cover Memo
Gateway Industrial Park, 2nd F, Phase I - DOTD Ltr of No Objection	12/7/2016	Cover Memo
Gateway Industrial Park, 2nd Filing, Phase I - Plat	12/7/2016	Cover Memo

MAJOR SUBDIVISION PRELIMINARY PLAT

A) Gateway Industrial Park, Second Filing-Phase I

This is a legacy project for CSRS. Therefore, they have had to recuse themselves from the ERA role to avoid a conflict of interest as they are the design engineers. This project is being reviewed by the Planning and Development, Engineering, and Drainage Staff of Ascension Parish.

The subject property is located on the south side of LA Hwy. 30 approximately 8,000 feet west of LA Hwy. 73 (Old Jefferson Hwy.) in Council District 3 and zoned Medium Industry (MI) and Heavy Industry (HI). The application is on behalf of Superstar Holdings, LLC by CSRS, Inc.

The entire property covers approximately 82.8 acres and the applicant is proposing a minor subdivision containing 10 Industrial/Commercial lots on approximately 35.4 acres of the site in Phase I of the Second Filing. Lots range from 210 feet wide with a minimum size of 2.15 acres.

STAFF REVIEW COMMENTS

All elements of the subdivision as per ordinance have been provided and addressed on the plat along with the required notes, labels, setbacks and servitudes as per Paragraph 17-406 of the Subdivision Regulations.

The site lies within Flood Zone 'X' and 'AE' and all structures will be constructed in compliance with current flood zone elevation requirements. All lots are larger than 1 acre; therefore the developer is proposing individual private sewer treatment plants for each lot. All comments have been addressed by the consultant.

ENGINEER REVIEW COMMENTS

Preliminary Plat:

The Preliminary Plat has been reviewed by the Planning Staff
Comments with applicant responses are attached.

Drainage impact study:

The drainage impact study has been reviewed by the Ascension Parish Drainage
Department
Comments with applicant responses are attached.

Traffic impact study:

Applicant has submitted a letter (attached) from LA DOTD stating that it has reviewed the project and found that a traffic impact study will not be necessary.

STAFF RECOMMENDATIONS

The proposed plat meets all guidelines for a minor subdivision per current ordinance and should the commission concur with staff's analysis, staff recommends approval.



CSRS, INC.
6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808
Phone: (225) 769-0546
Fax: (225) 767-0060

December 5, 2016

Mr. Jerome Fournier
Ascension Parish Office of Planning and Development
615 E. Worthey Road
Gonzales, Louisiana 70737

Re. Gateway Industrial Park Preliminary Plat
CSRS Job No. 214106

Dear Mr. Fournier:

We have received and reviewed Ascension Parish Planning Department comments regarding the Gateway Industrial Park commercial development located on Highway 30 in Gonzales, LA. Our responses to your comments are presented below. Ascension Parish comments are shown in blue and CSRS responses are shown in red.

Preliminary Plat

1. Add arrows, distance to, and names of nearest street intersection on Vicinity Map.

CSRS Response: Items have been added to the vicinity map accordingly.

2. Add '...OR 55' FROM STREET CENTERLINE' to Front Setback under note 2.

CSRS Response: Text has been added.

3. Add ...'LA DOTD STANDARD PLAN...' at beginning of note 15.

CSRS Response: Text has been added.

4. School district information is not required for commercial/industrial subdivisions.

CSRS Response: This line has been removed from the notes.

5. Add additional 'APPROXIMATE TOP BANK' note on map and adjust line weight for better visibility.

CSRS Response: Additional callout has been added. Visibility is improved with new flood zone hatching.

6. Add specific date to final Preliminary Plat submittal.

CSRS Response: The preliminary plat is now dated with MM/DD/YYYY format.

7. Add to Note 3, "...INDIVIDUAL PRIVATE TREATMENT PLANTS..."

CSRS Response: Note has been added accordingly.

8. Add dimensions to t-turnaround ROW to ensure compliance with 17-4032.L

CSRS Response: Dimensions have been added and checked to comply with code 17-4032.L

9. Block for Planning Commission Chairman signature not necessary on Preliminary Plat.

CSRS Response: Block has been removed.

10. Under Note 2, specify if developer is going to set self-imposed setbacks in the Heavy Industrial zoning and, if so, what they will be.

CSRS Response: The building setbacks in the Heavy Industrial zoning have been removed from the plat. The setbacks will be at the discretion of the developer in compliance with necessary regulations (such as fire marshal codes).

11. Show flow arrows on New River canal.

CSRS Response: Multiple flow arrows are shown west of the stream centerline.

12. Note all servitudes as public or private.

CSRS Response: Notes to servitudes have been added accordingly. Please note that the 74' access servitudes between lots 4 and 5 and between lots 1 and 2 are intended to be future road right of way in the event that the remainder of the site is developed.

13. Note 3- 'Sanitary Sewer' references outfall to roadside ditch however, this project is stated to be curb and gutter. Revise note accordingly.

CSRS Response: The note has been revised accordingly.

14. Remove the note stating, "Any new drainage ditch required by the subdivision of this property for the purpose of transporting runoff or sewage treatment plant effluent to an existing parish maintained ditch shall be constructed and maintained by the property owners." This project it not proposing a ditch to convey sanitary sewer.

CSRS Response: Note has been removed.

15. Note 8- break out and list area of property currently being developed as well as area of owner property reserved for future development.

CSRS Response: The areas have been broken out and listed individually in the note.

16. Revise shading in flood zone area from 'dots' to more readable shade.

CSRS Response: Flood zone hatching has been revised as requested.

Drainage Study

See attached November 15, 2016 letter from Darrel Primeaux, Ascension Parish Department of Public Works, Drainage Division.

CSRS Response: Revision comments were submitted to Mr. Primeaux November 30, 2016.

Traffic Study

The Letter of no Objection from LADOTD provided by your office is sufficient verification that a traffic study will not be required. However, applicant is reminded that an Access Connection Permit will have to be acquired prior to construction.

CSRS Response: It is understood that an Access Connection Permit with need to be required prior to construction.

Should you have any questions or require additional information, feel free to contact me.

Sincerely,
CSRS, Inc.



Taylor M. Gravois, PE, PLS

CC: Eric Poché, PLA
Darrel Primeaux, P.E., P.L.S.



CSRS, INC.
6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808
Phone: (225) 769-0546
Fax: (225) 767-0060

November 30, 2016

Mr. Darrel Primeaux
Ascension Parish Dept. of Public Works - Drainage Division
42077 Churchpoint Road
Gonzales, Louisiana 70737

Re. Gateway Industrial Park Drainage Impact Study
CSRS Job No. 214106

Dear Mr. Primeaux:

We have received and reviewed Ascension Parish Drainage Division comments regarding the Gateway Industrial Park commercial development located on Highway 30 in Gonzales, LA. Our responses to your comments are presented below. Ascension Parish comments are shown in blue and CSRS responses are shown in red.

1. The emergency outflow weir as addressed in the report is not shown on Exhibit 2. Please address the erosional control measures proposed to be used with this emergency overflow weir. Provide armoring and riprap for 100- ft. downstream of the weir discharge point.

CSRS Response: The emergency outflow weir and armoring are now shown on Exhibit 2. A description of the erosion control measures has been added to the report. A more specific erosion control plan will be developed during the design/construction document phase of the project.

2. Note on page 3. (See App. A-2 to see cross-section locations). App. A-2 only contains cross- sections, no locations. Please submit a map showing where the cross-sections were taken.

CSRS Response: The cross section locations were included on the first page of Appendix 2, but admittedly are difficult to see. A clearer plan view of the cross sections has been added as the first page on Appendix 2, showing the locations where the cross sections were taken.

3. Elevations shown on Exhibits 4 and 5 are not referenced to an official benchmark of the Parish. Ordinance 17.505.A.1 requires that all elevations submitted to the Parish shall be referenced to an official benchmark as published by the Department of Public Works and posted on the Parish's website.

CSRS Response: Elevations shown are derived from LiDAR. Item 4 of the Ascension Parish DIS Requirements checklist states that LiDAR is acceptable for delineating watersheds. Ordinance 17.505.A.1 is in reference to buildings and structures. Once the plat is approved, an on-the-ground topo survey will be performed and elevations will be tied to an official Parish benchmark.

4. There is no North-South line to the east as depicted by Exhibit 2.

CSRS Response: Please clarify the intent of this comment.

5. Please identify how the hydraulic lengths shown in Appendix A-3 were established so reviewer may check the time of concentrations. Show hydraulic lengths on appropriate Exhibit.

CSRS Response: Hydraulic lengths have been added to Exhibit 7. Time of concentration calculations are shown on the last page of Appendix A-3.

6. Section 3.3 indicates existing ditches will remain to the south and east, but Exhibit 7 shows a "possible" drainage ditch along the east property line. What if this ditch is not possible, what happens to drainage? Please clarify.

CSRS Response: The "possible" drainage ditch was a carry-over note from a previous submittal and has been removed from Exhibit 7. Drainage from lots 7, 8, 9, & 10 will sheet flow north and be collected in subsurface drainage, and eventually discharge to the pond. A more detailed determination on internal drainage will be defined during the construction document phase of the project.

Should you have any questions or require additional information, feel free to contact me.

Sincerely,
CSRS, Inc.



Taylor M. Gravois, PE, PLS



District 61 – Traffic Operations
3773 Harding Blvd. | Baton Rouge, LA 70807
ph: 225-389-2111

John Bel Edwards, Governor
Shawn D. Wilson, Ph.D., Secretary

11 October 2016

Taylor Gravois, P.E., P.L.S., PMP
CSRS, Inc.
6767 Perkins Road, Suite 200
Baton Rouge, LA 70808
gravois@csrsonline.com

Re: Gateway Industrial Park Second Filing, Phase 1 (LA 30)

Dear Mr. Gravois:

As requested, this letter is to serve notice to the Ascension Parish Planning Commission that the Gateway Industrial Park Second Filing, Phase 1 has been reviewed by this Office. Given the minimal traffic generated by the size and nature of the proposed development, a traffic impact study will not be necessary. The developer will be required to apply and acquire an Access Connection Permit prior to construction.

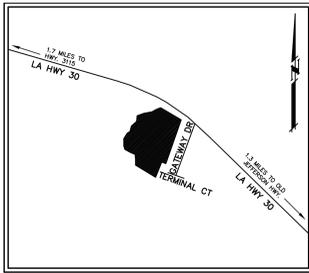
Please do not hesitate to contact me if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "C. Ewing", is written over a faint, light blue circular stamp or watermark.

Christopher J. Ewing, P.E., P.L.S., PTOE
District Traffic Operations Engineer

CJE/cje
Enclosures: 1



VICINITY MAP
Scale: 1"=2000'

NOTE:
NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE LOCAL HEALTH AUTHORITY.

SOURCE OF WATER SUPPLY SHALL BE APPROVED BY THE ASCENSION PARISH HEALTH UNIT.

THIS PROJECT IS SUBJECT TO SEWER DEVELOPMENT AND TRAFFIC IMPACT FEES IN ACCORDANCE WITH ASCENSION PARISH ORDINANCES.

DEDICATION:

THE RIGHTS-OF-WAY OF STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC. ALL AREAS SHOWN AS SERVITUDES ARE GRANTED TO THE PUBLIC FOR THE USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL, AND OTHER PROPER PURPOSES FOR THE GENERAL USE OF THE PUBLIC. NO BUILDING, STRUCTURE, OR FENCE SHALL BE CONSTRUCTED, NOR SHRUBBERY PLANTED, WITHIN THE LIMITS OF ANY SERVITUDE SO AS TO UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH SERVITUDE WAS GRANTED.

GENERAL NOTES:

- FLOOD NOTE: IN ACCORDANCE WITH FEMA FLOOD INSURANCE RATE MAP PANEL NO. 22005C0100E OF ASCENSION PARISH, LOUISIANA, LAST REVISED AUGUST 16, 2007, THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "AE" & "X". NEAREST BASE FLOOD ELEVATION = 17.00 (NAVD 85). BASE FLOOD ELEVATION IS SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE LOCAL AUTHORITY'S FLOOD PLAN ADMINISTRATOR BEFORE ANY IMPROVEMENTS TO THE PROPERTY ARE CONTEMPLATED.
- ZONING: (MI) MEDIUM INDUSTRIAL: 25' FRONT SETBACK OR 55' FROM STREET CENTERLINE
15' REAR SETBACK
10' SIDE SETBACK
(HI) HEAVY INDUSTRIAL: NO SETBACKS
- SANITARY SEWER: INDIVIDUAL PRIVATE TREATMENT PLANTS, EFFLUENT TO SUBSURFACE DRAINAGE, THROUGH ON-SITE DETENTION PONDS AND, THEN, TO NEW RIVER
- STORMWATER DRAINAGE: CONCRETE CURB & GUTTER STREETS ROUTED TO ON-SITE STORAGE PONDS, OUTFALLING TO NEW RIVER
- UTILITIES: TELEPHONE: EATEL
ELECTRICITY: DEMCO
WATER: PRIVATE
GAS: LOUISIANA GAS
- LAND USE: EXISTING - VACANT
PROPOSED - LIGHT INDUSTRIAL
- AREA = 45.61 ACRES FOR FUTURE DEVELOPMENT
AREA = 37.18 ACRES FOR SECOND FILING PHASE 1
- LAND CHARACTERISTIC: OPEN PASTURE, VACANT
- NUMBER OF LOTS PROPOSED: 10
- LOT AREA RANGE: 2.15 ACRES TO 3.97 ACRES
- FIRE DISTRICT - FIRE PROTECTION DISTRICT NO. 1
- STREETS: 27' WIDE CONCRETE CURB & GUTTER STREETS WITH SUBSURFACE DRAINAGE.
- CONTOURS SHOWN OBTAINED FROM LSU GIS LIDAR DATA.
- LA DOTD STANDARD PLAN CP-01 IS TO BE USED AS THE STANDARD DESIGN FOR CONCRETE PAVING FOR THIS DEVELOPMENT.
- VARIANCES REQUESTED: NONE
- ALL LOTS SHALL BE REQUIRED TO PROVIDE ACCESS VIA THE INTERNAL STREET NETWORK.
- REFERENCE MAP: "MAP SHOWING SUBDIVISION OF LOT 3-B & TRACT C-2-B-1-B INTO LOTS 3-B-1, 3-B-2 & TRACT C-2-B-1-B-2 LOCATED IN ..." FOR SUPERSTAR HOLDINGS, LLC, BY LANDSOURCE, INC., DATED 3-23-07, P-4156; INSTR # 663877
- INDIVIDUAL LOTS WITHIN THIS PHASE OF DEVELOPMENT WILL NOT BE REQUIRED TO SUBMIT AN INDIVIDUAL DRAINAGE IMPACT STUDY. HOWEVER, THE SUBSURFACE SYSTEM DRAINAGE AREA MAP NEEDS TO BE FOLLOWED ON EACH LOT, RESTRICTING THE AMOUNT OF WATER DRAINING TO THE SUBSURFACE SYSTEM FROM EACH SPECIFIC LOT, TO THE AMOUNT INDICATED ON THE MAP.
- ALL ADJACENT LAND OWNER NAMES AND ADDRESSES ARE FROM THE ASCENSION PARISH ASSESSOR SITE, WWW.ASCENSIONASSESSOR.COM.
- WETLANDS: A JURISDICTIONAL WETLAND DETERMINATION HAS NOT BEEN DONE, BY CSRS, INC. AND IS NOT PART OF THIS PLAT.
- *BASE BEARING PER REFERENCE MAP.

HONEYWELL INTERNATIONAL
35544 COCO ROAD
GEISMAR, LA 70734

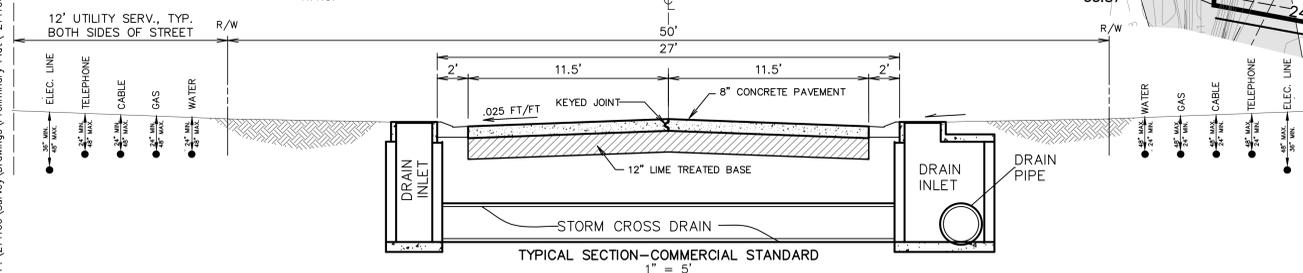
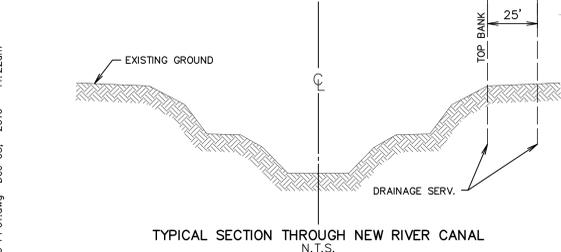
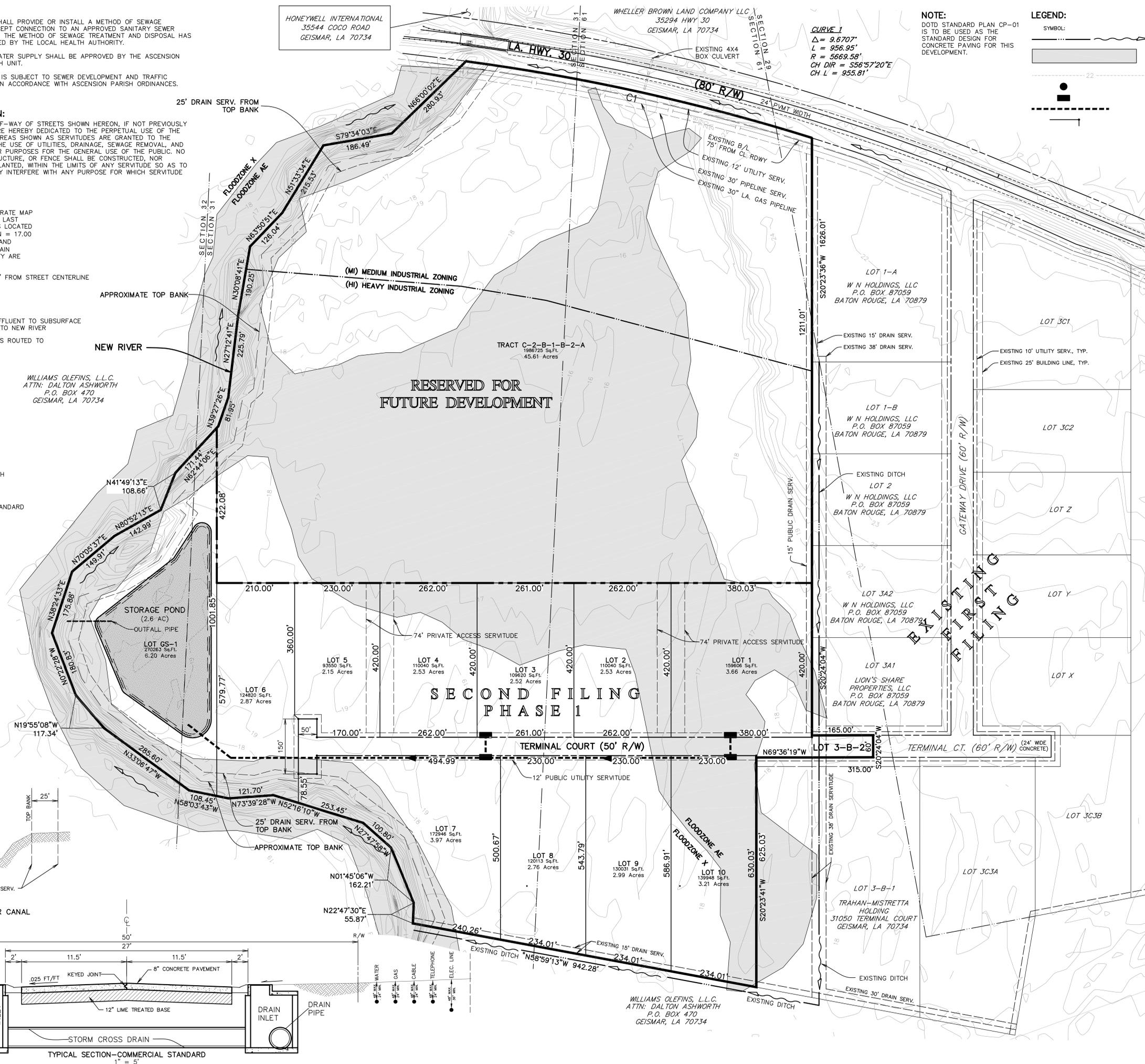
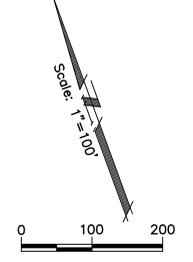
WHELLER BROWN LAND COMPANY LLC
35294 HWY 30
GEISMAR, LA 70734

CURVE 1
Δ = 9.6707'
L = 956.95'
R = 5669.58'
CH DIR = S56°57'20"E
CH L = 955.81'

NOTE:
DOTD STANDARD PLAN CP-01 IS TO BE USED AS THE STANDARD DESIGN FOR CONCRETE PAVING FOR THIS DEVELOPMENT.

LEGEND:

SYMBOL:	DESCRIPTION:
	EXISTING DITCH & FLOWLINE
	FLOODZONE AE
	EXISTING CONTOUR ELEVATION
	JUNCTION BOX
	CURB INLET
	PROPOSED DRAIN
	SET 1/2" IRON PIPE



DEVELOPER / OWNER:
MR. PAUL VOORHIES
SUPERSTAR HOLDINGS, LLC
P.O. BOX 87059
BATON ROUGE, LA. 70879
PHONE: 225-293-7927
FAX: 225-293-7946



ENGINEER/LAND SURVEYOR:
TAYLOR M. GRAVOIS, P.E., P.L.S.

PRELIMINARY WORK
NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR ISSUANCE OF A PERMIT.

Revisions

CSRS
IMAGINE SHAPE DELIVER
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Telephone: 225 769-0546 Fax: 225 767-0060
www.csrsonline.com

Preliminary Plat
OF
Gateway Industrial Park
Second Filing,
Phase 1
Being a Subdivision of
LOT C2B1B2 and LOT 3B2
Located in
SECTIONS 29, 31, 32 & 61,
T-9-S, R-2-E,
GREENSBURG LAND DISTRICT;
ASCENSION PARISH,
LOUISIANA
For
Superstar Holdings, LLC

Date:	DECEMBER 5, 2016
Project Number:	214106
Drawn By:	TJC
Checked By:	TMG
Sheet:	

P:\214106\Survey\Drawings\Preliminary Plat\214106 PP01.dwg Dec. 05, 2016 - 11:22am



Description: **Ascension Commerce Center - 5th Filing**
Quality Engineering & Surveying, LLC
(Council District 3)

ATTACHMENTS:

Description	Upload Date	Type
Ascension Commerce Ctr - 5th Filing	12/7/2016	Cover Memo
Ascension Commerce Ctr - 5th Filing - ERA Final Review Letter	12/7/2016	Cover Memo
Ascension Commerce Center - 5th Filing - Final Inspection Punchlist	12/7/2016	Cover Memo
Ascension Commerce Center - 5th Filing Plat	12/7/2016	Cover Memo

MAJOR SUBDIVISION FINAL PLAT

A) Ascension Commerce Center – 5TH Filing

The subject property is located near the intersection of Hwy 73 and Hwy 30 in Council District 3 and is zoned Heavy Industry (HI) and Light Industry (LI). The application is on behalf of LJJ Land Company, LLC by Quality Engineering & Surveying, LLC.

The property is 345.3 acres and the applicant is proposing an industrial subdivision containing 51 lots. The lots range from 100 to 500 feet wide and from 1 acre to 17 acres. This filing contains 34 lots with the final 17 lots approved with the Preliminary Plat coming in the 6th and final filing.

The applicant received variances at the Preliminary Plat stage with reference to:

1. Paragraph 17-4020 E, G, H, I of the Subdivision Regulations – block length standards, pedestrian system, park and tree requirements – as the lots will never be allowed to have a residential use.
2. Paragraph 17-5012.A.1 of the Subdivision Regulations – prohibits open ditches along streets – will require approval of Drainage Director, Director of Public works and the Director of Planning and Development
3. Paragraph 17-4034 of the Subdivision Regulations – Street construction standards – all lots are a minimum of 100' wide, the street will include a 4' improved shoulder and swales will be a maximum 4:1 slope.
4. A staff level approval during construction for running overhead electrical power lines consistent with existing infrastructure vs. underground power as originally planned.

The intent of the developer is to secure two (2) performance bonds, one for the value of the Water and Electrical utilities and a second bond to secure the remaining punch list items (attached) to have the final plat signed prior to completion of these construction items. Should the use of performance bonds be acceptable to the Commission, the final plat will be held for signing and recordation until the bonds are approved and executed and any remaining punch list items have been completed. Once all bonded construction items have been completed to the satisfaction of the Parish with proper paperwork and documentation, the bond will be released.

Project Timeline:

- January 13, 2016 -Planning Commission approves the preliminary plat
- July 15, 2015- Construction plans approved, and September 21, 2015 a revision to the construction plans replacing the 4' aggregate shoulder with a 4' asphalt paved shoulder was approved.
- December 1, 2016 - Final Inspection Performed

STAFF/ERA FINAL PLAT REVIEW COMMENTS (see attached Final Plat Comments)

ENGINEERING DEPT/ERA OUTSTANDING ITEMS: See attached punch list from final inspection.

STAFF RECOMMENDATIONS

Should the Commission agree, the Staff recommends approval contingent upon satisfactory execution of the Performance Bonds and completion of any outstanding punch list items.

Note: Signature by the Planning Commission Chairman shall be withheld until all necessary items have been completed as noted.



November 1, 2016

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

CSRS, INC.
6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808

Phone. (225) 769-0546

Fax. (225) 767-0060

**RE: Ascension Commerce 5th Filing
Final Plat Review**

Mr. Fournier:

As the Engineering Review Agency for the Ascension Parish Planning Commission, we have reviewed the Final Plat submitted for the above referenced development for compliance with the Ascension Parish Subdivision Regulations and the Ascension Parish Development Code. Shown below are the comments made to the Consulting Engineer for the project as a result of our review of their submittals, as well as a description of their correction or response made to our comments (**shown in bold print**).

Final Plat Comments:

1. List all variances/waivers. The final plat should only note waivers in which approval was received. Therefore, change "Waiver Requests" to "Waiver's Received" and omit the word "requesting" and replace with "received" in each individual waiver description as applicable. **Consultant provided and corrected.**
2. Provide a wetlands determination as required on the checklist. Consultant stated they received a determination 10/3. **Consultant did not provide determination at this time.**
3. Note whether this site is subject to traffic and development impact fees. Consultant responded this site is subject to traffic fees. **Consultant did not add note as requested.**
4. Note and depict the temporary servitude for the temporary T-turnaround as shown in the construction plans. Provide inset for the temporary T-Turnaround on Industrial Drive and note the servitude width. **Consultant provided.**
5. Show street labels on the vicinity map. **Consultant provided.**
6. The basis of bearing asterisks are not used anywhere on the plat. **Consultant removed.**
7. The construction plans show the 5th Filing to have 34 total lots. However, the final plat notes that there are 46. Update to note the correct lot numbers. **Consultant corrected to 34 lots.**
8. Correct the "Street" note to have 4' asphalt shoulders as used on the approved construction plans. **Consultant corrected.**

9. Shade flood zones on the layout as applicable. **Consultant provided.**
10. Delineate between light and heavy industrial zoning areas on the layout. **Consultant provided.**
11. Label all street names and right of way widths as depicted in the approved construction plans. **Consultant provided.**
12. Delineate between Phase 5 and Phase 6. **Consultant provided.**
13. The “existing 30’ drainage servitude” labeled between lots 29 & 30 is shown to be an “existing 30’ Entergy servitude” on the construction plans. Update to reflect correct servitude type. **Consultant updated.**
14. The construction plans depict an existing 40’ drainage servitude running through the pond that is to be revoked. Update plat to show this servitude. **Consultant updated.**
15. Correct the 30’ permanent easement on the north-eastern ditch to point to the correct lines. All lines and servitudes of this ditch should be updated so that it is clearly displayed. **Consultant updated.**
16. Show all existing 35’ drainage servitudes behind lots 9 – 15 as shown in the construction plans. **Consultant updated.**
17. Label the type of the 15’ servitude shown on lot 16. **Consultant updated.**
18. The construction plans depict an existing 30’ drainage servitude on St. Jude Drive that is to be revoked. Update plat to show this servitude. **Consultant updated.**
19. The construction plans depict an existing 50’ servitude running through lots 26 & 25 that is to be revoked. Update plat to show this servitude. **Consultant updated.**
20. The construction plans depict the 40’ drainage servitude in the back of lots 28 & 29 as existing. Update the plat to reflect this. **Consultant updated.**
21. Depict the temporary T-turnaround on Industrial Drive as shown in the construction plans. **Consultant provided.**
22. Add note: “All structures shall be constructed a minimum of one foot above FEMA BFE.” **Consultant provided.**
23. A note is required regarding private ownership and maintenance of lake/pond and shoreline and that Ascension Parish does not own or maintain lake/pond and shoreline. **Consultant provided.**
24. Add note: “In accordance with Section 17-4044J of the subdivision regulations, “Subdivisions designed as “open-ditch”, excluding simple subdivisions and family partitions (not curb & gutter), shall remain as

“open-ditch” subdivisions in perpetuity. No “closing in” of frontages by using pipe and catch basins shall be allowed.” **Consultant provided.**

25. Range is 2 East and not 3 East. **Consultant corrected.**
26. Instrument number for reference 1 seems to be incorrect. **Consultant corrected.**
27. Add instrument numbers for references 3 and 4. **Consultant provided.**
28. Add note stating, “THIS PROJECT IS SUBJECT TO SEWER DEVELOPMENT FEES IN ACCORDANCE WITH ASCENSION PARISH ORDINANCES”. Coordinate with Ascension Parish Utilities Dept. to determine final Sewer Development fee to be paid for each lot and list on plat. **Consultant provided.**
29. The consultant should submit paperwork to Ascension Parish to begin the servitude revocation process. **Consultant did not acknowledge.**
30. Add lot area notation to each lot label. **Consultant provided.**
31. Add symbol for ‘SET ½” IRON ROD’. **Consultant provided.**
32. According to Section 17-4012-C of the Subdivision Regulations, restrictive covenants or trusteeships shall be signed by the owner or agent and recorded in the office of the parish recorder. References to any restrictive covenants should be made on the plat and the consultant should acknowledge that any restrictive covenants are to be made available to the planning commission after recording of the final plat. **Consultant provided restrictions note.**
33. Provide permanent Benchmark on Final Plat as required by Paragraph 17-4012.A.15 of the Subdivision Regulations. **Consultant provided.**

The following items should be considered by the Planning Commission in their analysis of the case:

- **No comments.**

If you have any questions or comments, please do not hesitate to contact me at (225) 769-0546.

Sincerely,

Engineer Review Agency for the Ascension Parish Planning Commission



Shaun Sherrow, P.E.

CC: Deric J. Murphy, P.E., L.S.I., Quality Engineering & Surveying, LLC



CSRS, INC.
6767 Perkins Road, Suite
200
Baton Rouge, LA 70808
Phone. (225) 769-0546
Fax. (225) 767-0060

December 2, 2016

Mr. Jerome Fournier
Ascension Parish Planning Commission
P.O. Box 1659
Gonzales, La 70707

RE: Ascension Commerce, 5th Phase
Final Inspection Punch List

Dear Mr. Fournier:

The final inspection for the above referenced project was held on 12/1/2016 at 8:30 am. The contractor, the project engineer, inspection department, and DPW were present.

By electronic copy of this letter, we are transmitting our comments to Quality Engineering & Surveying, LLC. They will contact DPW inspection or me when these items have been addressed and the applicable items are ready for a re-inspection.

Project Closeout

1. Provide as-builts after the punch list items have been provided.
2. Provide engineering certification.
3. Provide testing lab certification.
4. Provide all testing reports if not already submitted.

Drainage

1. Regrade roadside drainage ditches to eliminate ponding.

Landscape Requirements

1. Per MUTCD Section 2A.18 - The minimum height, measured vertically from the bottom of the sign to the top of the curb, or in the absence of curb, measured vertically from the bottom of the sign to the elevation of the near edge of the traveled way [...] shall be 7 feet.

Roadway

1. Install DOTD approved minimum asphalt overlay for entire length of pavement in subdivision to correct the dip in the center of the travel lanes. Project Engineer to verify DOTD specification for pavement thickness.
2. Complete construction of the median on Industrial Drive near the entrance of the subdivision.
3. Complete construction of the turn lane at the entrance of the subdivision.

Lots/grading

1. No comments.



CSRS, INC.
6767 Perkins Road, Suite
200
Baton Rouge, LA 70808
Phone. (225) 769-0546
Fax. (225) 767-0060

Erosion Control

1. Seed all ditch shoulders
2. Hydro-seed pond limits at north, west, south, and portions on the east side of the pond.
3. Install rip-rap at all cross drains according to the construction documents.

Utilities:

1. Install water
2. Install electric utilities

Do not hesitate to contact me should you have any questions.

Sincerely,

Engineering Review Agency for the Ascension Parish Planning Commission

A handwritten signature in blue ink that reads 'Shaun Sherrow'.

Shaun Sherrow, P.E., PMP

cc: Deric Murphy, P.E., L.S.I., Quality Engineering & Surveying, LLC
Joey Tureau, P.E.



SCALE: 1"=300'

PARCEL AREA TABLE

Table with 3 columns: PARCEL #, AREA, SQUARE FEET. Lists parcels 9 through 42 with their respective areas and square footages.

LEGEND table with 2 columns: Symbol, Description. Includes FOUND 1/2" IRON ROD and SET 1/2" IRON ROD.

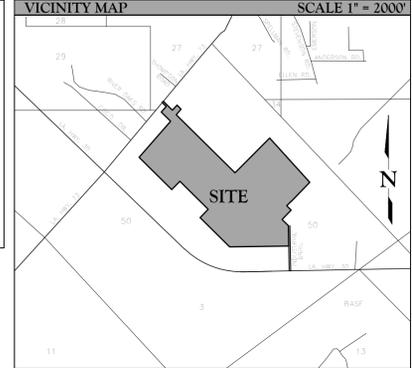
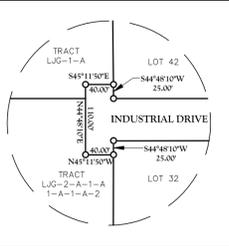
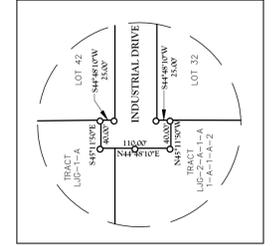
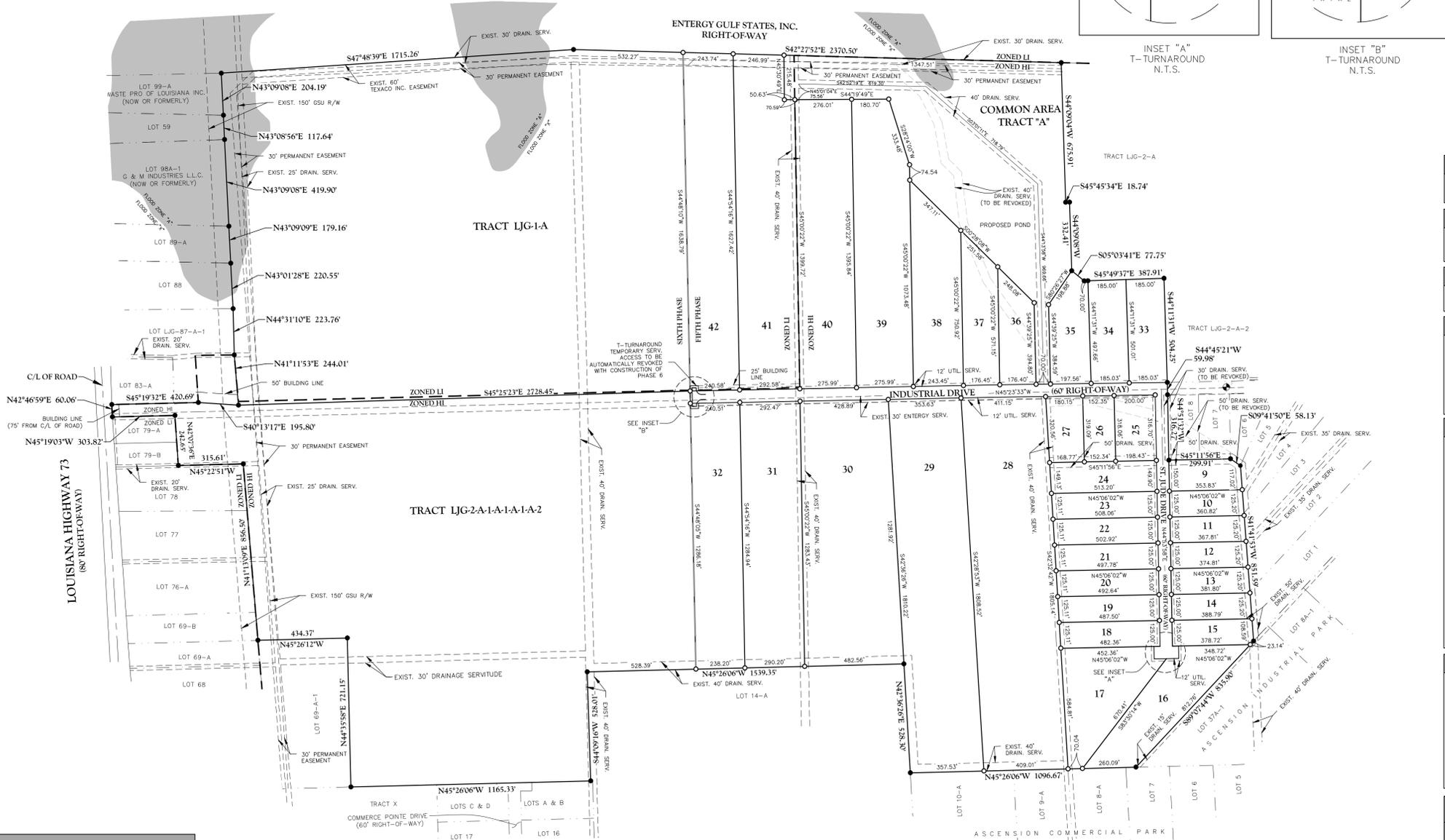
- REFERENCE MAPS: 1. MAP SHOWING RESUBDIVISION OF LOTS 69-A AND LUG-2-A-1-A-1-A INTO LOTS 69-A-1 & LUG-2-A-1-A-1-A-1, DATED 3/25/2014... 2. MAP SHOWING RESUBDIVISION OF LOTS 69 AND 76 ASCENSION INDUSTRIAL PARK 3RD FILING... 3. MAP SHOWING RESUBDIVISION OF LOT 79 AND LOT LUG-2-A-1-A-1-A-1 INTO LOT 79-A, LOT 79-B AND LOT LUG-2-A-1-A-1-A-1-A-1... 4. MAP SHOWING RESUBDIVISION OF LOT 87-A & LOT LUG-2-A-1-A-1-A-1 INTO LOT 87-A-1 & LOT LUG-2-A-1-A-1-A-1-A-1, BY QUALITY ENGINEERING & SURVEYING, LLC, DATED APRIL 14, 2016.

CERTIFICATION: THIS IS TO CERTIFY THAT THIS PLAT IS MADE IN ACCORDANCE WITH LOUISIANA REVISED STATUTES 33:5051 ET. SEQ. AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND... JAMIE M. BORDELON, REG. NO. 4977, REGISTERED PROFESSIONAL LAND SURVEYOR.

GENERAL NOTES: 1. NO ATTEMPT HAS BEEN MADE BY QUALITY ENGINEERING & SURVEYING, L.L.C. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES THAT MAY EXIST ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT. 2. ALL PROPERTY CORNERS SHOWN HEREON HAVE BEEN MONUMENTED WITH 1/2" IRON PIPES, UNLESS OTHERWISE NOTED. 3. LOT AREAS AND LOT FRONTAGE MEET OR EXCEED THE MINIMUM REQUIREMENTS OF ZONING DISTRICT AS SET FORTH IN THE ASCENSION DEVELOPMENT CODE. 4. BASIS OF BEARING: BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE LOUISIANA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (1702) NAD 83 AS DETERMINED BY GPS OBSERVATIONS. 5. ADJACENT PROPERTY OWNER INFORMATION AS SHOWN HEREON WAS TAKEN FROM THE LATEST TAX ASSESSORS PROPERTY OWNERS MAP WHEN THIS PLAT WAS PREPARED. 6. ANY NEW DRAINAGE DITCH REQUIRED BY THE SUBDIVISION OF THIS PROPERTY FOR THE PURPOSE OF TRANSPORTING RUNOFF OR SEWAGE TREATMENT PLANT EFFLUENT TO AN EXISTING PARISH MAINTAINED DITCH SHALL BE CONSTRUCTED AND MAINTAINED BY THE PROPERTY OWNER(S). 7. SOURCE OF WATER SUPPLY SHALL BE APPROVED BY THE ASCENSION PARISH HEALTH UNIT. 8. ALL STRUCTURES SHALL BE CONSTRUCTED A MINIMUM OF ONE FOOT ABOVE FEMA BFE. 9. THE POND/LAKE AND SHORELINE MAINTENANCE AND UPKEEP RESPONSIBILITIES WILL BE ON THE HOA. ASCENSION PARISH IS NOT RESPONSIBLE FOR THE MAINTENANCE OR OWNERSHIP OF POND/LAKE AND SHORELINE. 10. SUBDIVISIONS DESIGNED AS "OPEN-DITCH", EXCLUDING SIMPLE SUBDIVISIONS AND FAMILY PARTITIONS (NOT CURB & GUTTER), SHALL REMAIN AS "OPEN-DITCH" SUBDIVISIONS IN PERPETUITY. NO "CLOSING IN" OF FRONTAGES BY USING PIPE AND CATCH BASINS SHALL BE ALLOWED. 11. THIS PROJECT IS SUBJECT TO SEWER DEVELOPMENT FEES IN ACCORDANCE WITH ASCENSION PARISH ORDINANCES.

SITE DATA: ZONING: HI = HEAVY INDUSTRY & LI = LIGHT INDUSTRY LAND USE: INDUSTRIAL ACREAGE: 345.3± ACRES NO. OF LOTS: 34 STREETS: STREETS TWENTY-FOUR (24') FEET WIDE WITH FIVE (5') INCHES OF ASPHALT AND (4') FEET OF ASPHALT SHOULDER SEWER: PRIVATE MODAD SYSTEM WATER: ASCENSION WATER COMPANY ELECTRIC: ENERGY GAS: ATMOS TELEPHONE: EATEL CABLE: EATEL/COX FLOOD ZONE: A & X - PER FIRM 22005C0105E 100 YR. B.F.E.: 15' TO BE CONFIRMED BY PARISH BUILDING SETBACKS: FRONT - NONE (H) 25' (L) REAR - NONE (H) 15' (L) SIDE - NONE (H) 10' (L)

WAIVER RECEIVED (SEC. 17-4034) RE: TYPICAL STREET SECTION O/D/S RECEIVED A WAIVER TO ALLOW INDUSTRIAL DRIVE EXTENSION TO BE CONSTRUCTED AS AN OPEN DITCH ASPHALT ROADWAY SECTION TO ASSIST WITH DRAINAGE EQUALIZATION AND ROADWAY MAINTENANCE, ALSO DUE TO THE 100' MINIMUM LOT FRONTAGE, 4' IMPROVED SHOULDER, AND 4:1 MAXIMUM SLOPE ON SWALES. (SEC. 17-4020 E, G, H, I) RECEIVED A WAIVER DUE TO THE FACT THAT NO LOT SHALL EVER HAVE A RESIDENTIAL USE. (SEC. 17-5012.A.1) RECEIVED WAIVER TO ALLOW NEW OPEN DITCH STORM WATER CONVEYANCE



BENCHMARK: PK NAIL LOCATED IN INDUSTRIAL DRIVE, ELEVATION = 17.06'

BASIS OF BEARING: THE BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON LOUISIANA STATE PLANE COORDINATES, SOUTH ZONE, NAD 1983, LAMBERT CONFORMAL CONIC AS DETERMINED BY GPS OBSERVATIONS.

RESTRICTIONS NOTE: ALL LOTS ARE SUBJECT TO THE DECLARATION OF RESTRICTIVE COVENANTS RECORDED AS AN ADJUNCT HERETO.

FLOOD ZONE NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONES "X" AND "A" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 220013, MAP NOS. 22005C0100E & 22005C0105E WHICH BEAR EFFECTIVE DATES OF 08/16/2007. ZONE "X" INDICATES AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD. BASE FLOOD INDICATED AS '15' TO BE CONFIRMED BY PARISH. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THESE ZONES AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LANDOWNER/OFFICER CERTIFICATION: THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE LEGAL OWNER OR LEGAL OFFICER OF THE PROPERTY PLATTED HEREON ON THE DATE SIGNED.

SEWAGE DISPOSAL NOTE: NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE HEALTH UNIT OF ASCENSION PARISH.

PUBLIC DEDICATION: THE PUBLIC STREETS AND RIGHTS OF WAY SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. ALL AREAS SHOWN AS PUBLIC SERVITUDES ARE GRANTED TO THE PUBLIC FOR USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL, OR OTHER PROPER PURPOSE FOR THE GENERAL USE OF THE PUBLIC. NO TREES, SHRUBS, OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE, OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY PUBLIC SERVITUDE OR RIGHT OF WAY SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE OR RIGHT-OF-WAY IS GRANTED.

L.J. GREZAFFI DATE

APPROVED: ASCENSION PARISH PLANNING COMMISSION

FILE NO. DATE

CHAIRMAN ASCENSION PARISH PLANNING COMMISSION

FINAL PLAT ASCENSION COMMERCE CENTER - 5TH FILING

LOCATED IN SECTION 50, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SOUTHEASTERN LAND DISTRICT, ASCENSION PARISH, LOUISIANA

L.J.G. LAND COMPANY, L.L.C.



SEPTEMBER 2016 Drawn By: CDP

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