



**PARISH OF ASCENSION  
OFFICE OF PLANNING AND DEVELOPMENT  
PLANNING DEPARTMENT**

**Planning Commission**  
February 10, 2016 - 6:00 PM  
Courthouse East, 2nd Floor, Council Meeting Room  
Gonzales, Louisiana

**AGENDA**

- 1. Call to Order**
- 2. Roll Call of Members**
- 3. Pledge of Allegiance**
- 4. Introduction of Staff**
- 5. Chairman's Comments**
- 6. General Business**
- 7. Minutes**
  - (A) **Approval or Denial of the January 13, 2016 Planning Commission Minutes**
- 8. Consent Agenda**
- 9. Public Hearing to Approve or Deny the Following Family Partition:**
  - (A) **Carroll Clark, Sr. Property - Lots 5-A-1-A-1 & 5-A-1-A-2**  
Benchmark Group, LLC  
(Council District 8)
  - (B) **Janet Arnold Property - Lots 1-A-1 and 1-A-2**  
Alvin Fairburn & Associates, LLC  
(Council District 7)
  - (C) **Jennifer Joan Schexnaydre Property - Lots 1B-4A-2-A and 1B-4A-2-B**  
Quality Engineering & Surveying, LLC  
(Council District 3)
- 10. Public Hearing to Approve or Deny the Following Preliminary Plats:**
  - (A) **Brookstone**  
Quality Engineering & Surveying, LLC  
(Council District 7)

- (B) **Silver Oaks PUD - Revision to Final Development Plan**  
Quality Engineering & Surveying, LLC  
(Council District 9)

**11. Public Hearing to Approve or Deny the Following Subdivision Final Plat:**

- (A) **Dutchtown Meadows**  
~~MR Engineering & Surveying, LLC  
(Council District 8)~~  
This item was pulled from the agenda prior to the meeting by the engineer.
- (B) **Germany Oaks Subdivision**  
~~Quality Engineering & Surveying, LLC  
(Council District 11)~~  
This item was pulled from the agenda prior to meeting by the engineer.
- (C) **River Landing - Second Filing**  
~~Quality Engineering & Surveying, LLC  
(Council District 5)~~  
This item was pulled from the agenda prior to the meeting by the engineer.
- (D) **Woodland Manor - First Filing**  
~~Quality Engineering & Surveying, LLC  
(Council District 10)~~  
This item was pulled from the agenda prior to meeting by the engineer.

**12. Ordinances - Public Hearing to Recommend Approval or Denial to the Parish Council Amendments to the Ascension Parish Unified Land Development Code**

- (A) **Ordinance SR16-1: Revisions to the Subdivision Regulations in the Unified Land Development Code pertaining to Cul-de-sac and T-turnaround requirements**
- (B) **Ordinance SR16-2: Revisions to the Subdivision Regulations in the Unified Land Development Code - Section 17-405.1 Preliminary Plat Procedure, Section 17-408 Procedure for Construction and Section 17-409 Construction**

**13. Staff Report**

**14. Engineering Staff Report**

**15. Adjourn**

The below minutes are taken from the meeting to represent items addressed and actions taken by this board. All meetings are recorded with video and audio for our records. In the event these minutes are ever in question or controversy, the audio/video archive shall be used to determine the actual item or action taken by individuals present at this meeting.

**MINUTES**  
**Planning Commission**  
**January 13, 2016**

The Planning Commission of the Parish of Ascension held a Public Meeting on Wednesday, January 13, 2016 at 6:00 p.m. in the Courthouse East Meeting Room, Gonzales, Louisiana in a regular session convened.

**I. Meeting Called to Order**

Meeting was called to order by Chairman Jackie Callender.

**II. Roll Call of Members**

*The following members were present:*

Morrie Bishop, Gasper Chifici, Jackie Callender, Robert Burgess, Donald Songy, Matthew Pryor, Joshua Ory,

*The following members were absent:*

None

**III. Pledge of Allegiance**

**IV. Introduction of Staff**

Stacie Webb – Secretary, Planning and Development

Cody Martin – Legal Counsel

Ricky Compton – Director, Planning and Development

Ben Moran, Planner

Lance Brock, Zoning Official

Rhonda Braud, Engineer

Bob Turner, Engineer

**V. Election of Officers**

At this time the Chairman asked that there be a motion for the election of a chairman and vice chairman for the Planning Commission for 2016 be placed on the agenda.

**Commission Action:** Moved by Mr. Gasper Chifici, seconded by Mr. Robert Burgess and unanimously adopted, to place on tonight's agenda the election of a chairman and vice chairman of the Planning Commission for 2016.

**Commission Action:** Moved by Mr. Donald Songy, seconded by Mr. Gasper Chifici and unanimously adopted, to nominate and elect Mr. Matthew Pryor as chairman of the Planning Commission for 2016.

**Commission Action:** Moved by Mr. Gasper Chifici, seconded by Mr. Joshua Ory and unanimously adopted, to nominate and elect Mr. Morrie Bishop as vice chairman of the Planning Commission for 2016.

**VI. Chairman's Comments**

Chairman Pryor stated in the summer of 2015 Mr. Donald Songy and Mr. Robert Burgess advised the Commission that January 2016 would be their last meeting with their official resignations sent to the Council. In December Mr. Gasper Chifci sent in his resignation due to conflict of interest with his company doing work for Ascension Parish. Recently, Mr. Joshua Ory advised he would be resigning as well due to family concerns. Chairman Pryor thanked all four Commissioners for their service on the Commission.

Chairman Pryor recognized the Parish Councilmen present in the audience:

Councilman Daniel Satterlee  
Councilman Bill Dawson  
Councilman Cagnolatti  
Councilman Randy Clouatre

**VII. Minutes**

**A) Approval or Denial of the Minutes of the December 9, 2015 Planning Commission Minutes**

**Commission Action:** Moved by Mr. Donald Songy, seconded by Mr. Jackie Callender and unanimously adopted, to approve the December 9, 2015 Planning Commission minutes as presented.

**VIII. Consent Agenda**

**A) Affidavit of Mortgage Declaration**

Ellen Dixon Property – Lot 7 (Phillip Lind)

**B) Affidavit of Mortgage Declaration**

Terry P. Laiche Property

- 1) Terry P. Laiche, Jr
- 2) Lois S. Laiche

**Commission Action:** Moved by Mr. Robert Burgess, seconded by Mr. Jackie Callender and unanimously adopted, to approve the consent agenda.

**IX. Public Hearing to Approve or Deny the Following Family Partitions:**

**A) Rayford Nickens Property – Lots 4C2-A and 4C2-B**

The subject property is located on Drake Laney Lane off of Joe Sevario Road in Council District 5 and is zoned Medium Intensity (RM). The application is on behalf of Rayford Nickens by Earles and Associates, LLC.

The owner is proposing a Family Partition of a Lot 4C2 into Lots 4C2-A (1.424 acres) and 4C2-B (1.424 acres). The applicant will retain Lot 4C2-B and transfer 4C2-A to his daughter. Both lots are accessed on the plat by Drake Laney Lane, an existing 20 foot private servitude of passage that will be increased to 30 feet.

**STAFF REVIEW COMMENTS**

All existing users of Drake Laney Lane are required to sign the plat.

**STAFF RECOMMENDATIONS**

Staff recommends approval contingent upon all existing users of Drake Laney Lane signing the plat.

Mr. James Falgout with Earles and Associates, LLC presented this family partition.

Mr. Ben Moran stated additionally a predial servitude agreement showing the servitude is now 30ft instead of 20ft will need to be signed by all existing users of Drake Laney Lane and recorded before the plat can be signed.

*Public hearing was opened.*

No comments.

*Public hearing was closed.*

**Commission Action:** Moved by Mr. Jackie Callender, seconded by Mr. Gasper Chifci and unanimously adopted, to approve this family partition contingent on staff comments being addressed and a predial servitude agreement being signed by all existing users of Drake Laney Lane and recorded before plat can be signed.

**B) Tanner Property – Lots C-2-A and C-2-B**

The subject property is located on Josh Richardson Road off of LA Hwy 431 in Council District 10 and is zoned Medium Intensity (RM). The application is on behalf of Lynne Franks by McLin Taylor, Inc.

The owner is proposing a Family Partition of a Lot C-2 into Lots C-2-A (10.006 acres) and C-2-B (0.987 acres). The applicant will retain Lot C-2-A and transfer Lot C-2-B to his daughter. Both lots are accessed by Josh Richardson Road, an existing 30' R/W that is proposed to be extended as private servitude of passage.

**STAFF REVIEW COMMENTS**

Adjacent Lots D and E will be allowing the applicant to put the 30' private servitude of passage on their property, so a predial servitude agreement must be signed and recorded.

**STAFF RECOMMENDATIONS**

Staff recommends approval contingent upon the predial servitude agreement being signed and recorded.

Mrs. Ellen Jackson with McLin Taylor, Inc. presented this family partition.

*Public hearing was opened.*

No comments.

*Public hearing was closed.*

**Commission Action:** Moved by Mr. Gasper Chifoci, seconded by Mr. Jackie Callender and unanimously adopted, to approve this family partition contingent on staff comments being addressed.

**X. Public Hearing to Approve or Deny the Following Preliminary Subdivision Plats:**

**A) Grand Oaks**

The subject property is located on Cornerview Road approximately 475 feet east of Boudreaux Road in Council District 3 and is zoned Medium Intensity (RM). The application is on behalf of America Homeland, LLC by Quality Engineering & Surveying, LLC.

The property is 22 acres and the applicant is proposing a major subdivision containing 56 single family residential lots. Lots range from 60 – 80 feet wide with a minimum size of 8,100 square feet. The subdivision will include 1.1 acres of designated park space.

**STAFF REVIEW COMMENTS**

Planning department comments:

Staff recommends that a T-turnaround be provided at the east end of Sterling Oaks Avenue.

Negotiations must continue with the Parish utilities department regarding sewer treatment/discharge.

Drainage impact study:

The drainage impact study has been reviewed by the Department of Engineering. Comments are attached.

Traffic impact study:

The traffic impact study has been reviewed and approved. A letter granting approval is attached.

**STAFF RECOMMENDATIONS**

The proposed plat meets all guidelines for a major subdivision. However without approval of the drainage impact study, staff cannot recommend approval at this time.

Mr. Deric Murphy with Quality Engineering & Surveying, LLC presented this preliminary subdivision plat.

Mr. Murphy stated they are asking for consideration to not put the T-turnaround at the east end of Sterling Oaks Avenue as it is a recommendation by staff. He also asked for an interpretation of the code regarding T-turnarounds as it is ambiguous.

Mr. Bob Turner stated the traffic report required trees be removed along the frontage of the subdivision along Cornerview Road to the left and right of the intersection and would like that to be a contingency if approved.

*Public hearing was opened.*

The following spoke:

1- Mr. Jeff Pettit – neither for or against development

*Public hearing was closed.*

**Commission Action:** Moved by Mr. Robert Burgess, seconded by Mr. Jackie Callender, this preliminary subdivision plat was approved by the following roll call vote contingent on (a) the trees along Cornerview Road to the left and right of the intersection be removed for site distance; (b) the drainage impact study being approved by Engineering Department; and (c) a t-turnaround be added at the end of East Sterling Avenue.

YEAS: Gasper Chifici, Robert Burgess, Jackie Callender, Donald Songy,  
Morrie Bishop

NAYS: Joshua Ory

ABSENT: None

ABSTAINED: None

The Chairman did not vote.

5 YEAS, 1 NAYS, 0 ABSENT, 0 ABSTAINED and the motion CARRIED.

**B) Ascension Commerce Center – 5<sup>th</sup> Phase and 6<sup>th</sup> Phase**

The subject property is located near the intersection of Hwy 73 and Hwy 30 in Council District 3 and is zoned Heavy Industry (HI) and Light Industry (LI). The application is on behalf of LJG Land Company, LLC by Quality Engineering & Surveying, LLC.

The property is 345.3 acres and the applicant is proposing an industrial subdivision containing 51 lots. The lots range from 100 to 500 feet wide and from 1 acre to 17 acres.

The applicant is requesting variances to:

1. 17-4020 E, G, H, I – block length standards, pedestrian system, park and tree requirements – as the lots will never be allowed to have a residential use.

2. 17-5012.A.1 – prohibits open ditches along streets – will require approval of Drainage Director, Director of Public works and the Director of Planning and Development

3. 17-4034 – Street construction standards – all lots are a minimum of 100' wide, the street will include a 4' improved shoulder and swales will be a maximum 4:1 slope

**STAFF REVIEW COMMENTS**

Planning department outstanding comments:

1. Were lots 1-8 on Industrial Drive accounted for in the TIS? They must be added to it if not.  
The final plat for Lots 1-8 was previously approved by the Parish. Those lots are included in the TIS as existing traffic. Only lots included in the proposed 345 acre subdivision were included in the TIS analysis.
2. Is the width of Industrial Drive at Hwy 73 and at Hwy 30 wide enough to include exclusive left and right turn lanes warranted by the TIS? *See attached exhibits provided by engineer*

Negotiations must continue with the Parish utilities department regarding sewer treatment/discharge.

Drainage impact study:

The drainage impact study has been reviewed by the Department of Engineering and comments are attached.

Traffic impact study:

The traffic impact study has been reviewed and revised. Comments regarding both the original and the revised study are attached and have been sent to the engineer.

**STAFF RECOMMENDATIONS**

With the exception of the variances that are being requested, the proposed plat meets all guidelines for a major subdivision. However without approval from the Department of Engineering regarding both the traffic and drainage impact studies, staff cannot recommend approval at this time.

Mr. Deric Murphy with Quality Engineering & Surveying, LLC presented this preliminary subdivision plat.

Mr. Murphy stated the developer is willing to negotiate, with the Parish, an agreement that at some point if DOTD allows a signal at La. Highway 73 and Industrial Drive, up to ten (10) years from the date of this approval, that the developer will pay for those improvements and not put it on the burden of tax payers and is willing to make this as part of the approval tonight.

*Public hearing was opened.*

No comments.

*Public hearing was closed.*

**Commission Action:** Moved by Mr. Gasper Chifci, seconded by Mr. Jackie Callender and unanimously adopted, to approve this preliminary subdivision plat contingent on (a) signalization at La. Highway 73 and Industrial Drive be paid for by the developer and added within ten (10) years of the start of the development of the first lot if warranted by DOTD and subject to requirements of legal with respect to escrowing money or providing a bond; (b) the developer receiving

approval from the East Ascension Consolidated Gravity District Director of the developer's drainage plan; (c) the drainage impact study being approved by the Engineering Department; and (d) the traffic impact study being approved by the Engineering Department.

**XI. Public Hearing to Approve or Deny the Following Final Subdivision Plats:**

**A) Germany Oaks Subdivision**

~~Quality Engineering & Surveying, LLC  
(Council District 11)~~

*This item was pulled from the agenda prior to the meeting by the engineer.*

**B) River Landing – Second Filing**

~~Quality Engineering & Surveying, LLC  
(Council District 5)~~

*This item was pulled from the agenda prior to the meeting by the engineer.*

**C) Woodland Manor – First Filing**

~~Quality Engineering & Surveying, LLC  
(Council District 10)~~

*This item was pulled from the agenda prior to the meeting by the engineer.*

**D) Dutchtown Meadows**

~~Quality Engineering & Surveying, LLC  
(Council District 8)~~

*This item was pulled from the agenda prior to the meeting by the engineer.*

**XII. Ordinances – Public Hearing to Recommend Approval or Denial to the Parish Council Amendments to the Ascension Parish Unified Land Development Code**

**A) Ordinance SR16-2: Revisions to the Subdivision Regulations in the Unified Land Development Code – Section 17-405.I Preliminary Plat Procedure, Section 17-408 Procedure for Construction and Section 17-409 Construction**

Mr. Ricky Compton expressed all the details had not yet been worked out on this ordinance and asked that this proposed ordinance revision be postponed until the next regularly scheduled Planning Commission meeting.

**Commission Action:** Moved by Mr. Joshua Ory, seconded by Mr. Morrie Bishop and unanimously adopted, to postpone this proposed ordinance revision until the next regularly scheduled Planning Commission meeting.

**XIII. Staff Report**

**A) For Discussion – Ordinance SR16-1: Revisions to the Subdivision Regulations in the Unified Land Development Code pertaining to Cul-de-sac and T-turnaround requirements**

Mr. Ben Moran presented this proposed revision (*See Attachment A*) and asked that a public hearing be held at the next regularly scheduled Planning Commission meeting.

Chairman Pryor expressed the need of adding the definition of a "dead-end street" to the ordinance.

**Commission Action:** Moved by Mr. Jackie Callender, seconded by Mr. Robert Burgess and unanimously adopted, to hold a public hearing at the next regularly scheduled Planning Commission meeting to consider this proposed revision to ordinance with the addition of adding the definition of what a "dead-end street" is.

#### **XIV. Engineering Staff Report**

##### **A) Mrs. Rhonda Braud gave the following report status on subdivisions:**

5 subdivisions that are in bond  
15 subdivisions that are in some sort of build out  
8 subdivisions currently approved, waiting on construction plan approval  
9 subdivisions in some state of approval of the drainage, traffic preliminary plat that have not started on construction plans

At this time Councilman Randy Clouatre thanked the Commission and Staff for their work and effort that they put forth for Ascension Parish.

#### **XV. Adjourn**

Meeting was adjourned at 7:23p.m.

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Matthew Pryor, Chairman

**PARISH OF ASCENSION**  
OFFICE OF PLANNING AND DEVELOPMENT  
PLANNING DEPARTMENT



SR 16-01

Item for Consideration:

Ordinance SR 16-01: Revisions to the Subdivision Regulations in the Unified Land Development Code pertaining to Cul-de-sac and T-turnaround requirements.

We would like to remove the ambiguous description of 2 lots in length and the distance of 250' and simply require that all dead end streets, public or private, end with a T- turnaround or cul-de-sac. This serves for emergency vehicles, school buses, trash collection, etc. to have the space required to make a three-point turn. Hardship variances may continue to be considered by the Planning Commission.

**What the LDC says now:**

**17-4020. E. 5:**

A cul-de-sac, as described in Section 17-40100, or a t-turnaround, as provided for in Section 17-4032(K), shall be required at the end of dead-end streets which provide access to subdivided lots, when the dead-end streets exceed two hundred fifty (250') feet, or a width of two (2) lots in length.

**17-4032. L:**

T-turnaround pavement shall be a minimum of 90' x 20' with 25' radii and within a 110' x 40' right-of-way.

**What the LDC should say:**

**17-4020. E. 5:**

A cul-de-sac, as described in Section 17-40100, or a t-turnaround, as provided for in Section 17-4032(L), shall be required at the end of **all** dead-end streets **within public right of ways or private servitudes of access.**

**17-4032. L:**

T-turnaround or L-turnaround pavement shall be a minimum of 90' x 20' with 25' radii and within a 110' x 40' **public** right-of-way **or 90' x 30' private servitude of access.**

**PARISH OF ASCENSION**  
**OFFICE OF PLANNING AND DEVELOPMENT**  
**PLANNING DEPARTMENT**



**ORDINANCE NO. SR16-01**

**REVISIONS TO SECTION 17-4020.E.5 AND 17-4032.L**  
**IN APPENDIX IV OF THE PARISH UNIFIED LAND**  
**DEVELOPMENT CODE PERTAINING TO CUL-DE-SAC**  
**AND T-TURNAROUND REQUIREMENTS.**

**PURPOSE:** The purpose of this ordinance is to revise language in Section 17-4020 and 17-4032 in Appendix IV of the Subdivision Regulations of the Unified Land Development Code.

**WHEREAS:** Ascension Parish is a local governmental subdivision as defined by Article VI, Section 44 of the Louisiana Constitution of 1974, and

**WHEREAS:** The Parish of Ascension is the governing and responsible body within this jurisdiction, and

**WHEREAS:** Article VI of the Home Rule Charter of Ascension Parish, adopted May 4, 1993, identifies the process and manner in which to adopt ordinances regulating the lands of this Parish, and

**WHEREAS:** This code was incorporated as Appendix IV – Subdivision Regulations of the Parish Unified Land Development Code adopted December 17, 2009, and

**BE IT ORDAINED** by the Ascension Parish Governing Authority that Section 17-4020 and 17-4032 in Appendix IV of the Unified Land Development Code is hereby amended as follows. These changes are adopted as follows:

See attached Appendix IV – Section 17-4020.E.5 (Exhibit 1) and 17-4032.L (Exhibit 2)

**SEVERABILITY:** In the event that any portion of this Ordinance is ever held invalid or unconstitutional for any reason by any court of competent jurisdiction over it, such portion shall be deemed a separate, distinct, and independent provision(s) and shall not affect the validity of the remaining portion(s) of the Ordinance.

**EFFECTIVE DATE:** This ordinance shall be in full effect as permitted by law

**EXHIBITS:** Appendix IV – Section 17-4020.E.5 and 17-4032.L

**ADOPTION:** This ordinance having been submitted to a vote, the vote thereon was as follows:

Oliver Joseph, Bill Dawson, Travis Turner, Dempsey Lambert, Teri Casso, Randy Clouatre, Aaron Lawler, Todd Lambert, John Cagnolatti, Benny Johnson, Daniel Satterlee

Yeas:

Nays:

Not Voting:

Absent:

And this ordinance was passed on this \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Attest: President's Clerk

\_\_\_\_\_  
Kenny Matassa, Parish President

## Exhibit 1

### 17-4020. Major Subdivision Design Guidelines:

#### E. Block Standards

1. Block lengths shall not exceed the standards as set in Table C.
2. In blocks over 900 feet in length the planning commission may require a pedestrian crosswalk with a right-of-way not less than ten (10) feet in width to provide circulation, or access to schools, playgrounds, shopping centers, transportation, or other community facilities.
3. In the case where lot widths are mixed, block lengths listed (Appendix I - Table C) shall apply to the longer distance, if there are at least 20% of the larger lots located in the block.
4. When a normal block arrangement is impossible or undesirable, there may be established one (1) or more "places". Such a "place" may be in the form of a court, a street with a cul-de-sac, t-turnaround, or other arrangement approved by the planning commission; provided, however, that proper access shall be given to all lots from a dedicated street or court. Appendix IV: Subdivision Regulations Page 24 of 57
5. A cul-de-sac, as described in Section 17-40100, or a t-turnaround, as provided for in Section 17-4032(L), shall be required at the end of all dead-end streets within public right of ways or private servitudes of access.  
(SR07-01, 1/18/07; DC09-09, 12/17/09; SR13-9, 10/3/13; SR16-01 2/18/16)

Exhibit 2

**17-4032. Street Requirements:**

L. T-turnaround or L-turnaround pavement shall be a minimum of 90' x 20' with 25' radii and within a 110' x 40' public right-of-way or 90' x 30' private servitude of access.

(SR07-01, 1/18/07; SR07-02, 10/4/07; DC09-09, 12/17/09; SR16-01 2/18/16)

February 10, 2016

**FAMILY PARTITION**

**A) Carroll Clark, Sr. Property – Lots 5-A-1-A-1 and 5-A-1-A-2**

The subject property is located on Bluff Road in Council District 8 and is zoned Conservation (C). The application is on behalf of David B Fazekas by Benchmark Group, LLC.

The owner is proposing a family partition of a Lot 5-A-1-A into Lots 5-A-1-A-1 (1.01 acres) and 5-A-1-A-2 (1.51 acres). The applicant will retain Lot 5-A-1-A-2 and transfer Lot 5-A-1-A-1 to his daughter. Lot 5-A-1-A-2 is accessed by C Clark Lane, an existing 20' private servitude of passage and Lot 5-A-1-A-1 is accessed both by C Clark Lane and Bluff Road.

**STAFF REVIEW COMMENTS**

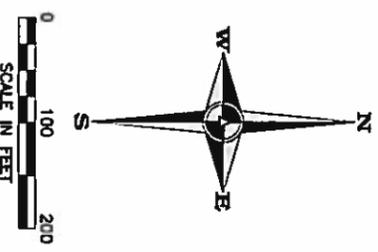
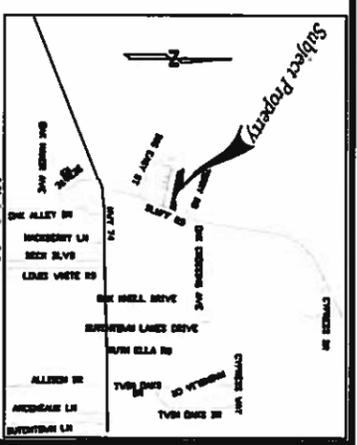
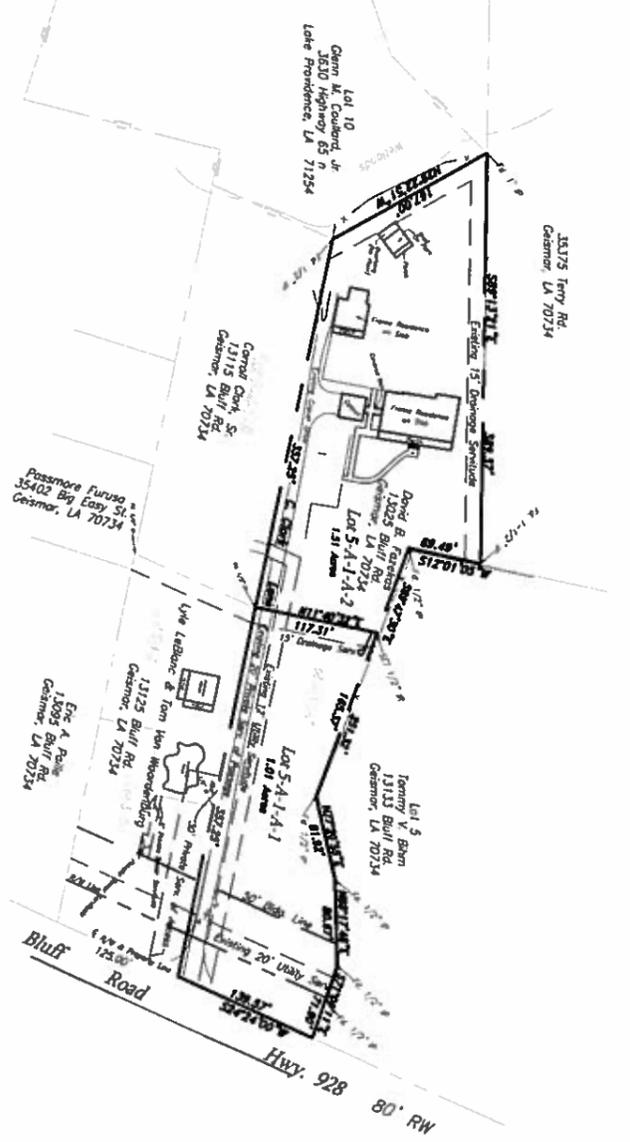
The applicant is requesting a variance to maintain the 20' width of the existing private access servitude, C Clark Lane.

Signatures are required for all existing users of C Clark Lane.

**STAFF RECOMMENDATIONS**

Staff recommends that the variance request be denied and the family partition be approved with the existing 20' private servitude of passage being increased to the required 30'.

Brian & Joy Fonseca



**REFERENCE MAPS:**

- 1) FAMILY PARTITION OF LOT 5-A-1-1 OF THE CARROLL CLARK, SR. PROPERTY AND LOTS 5-A-1-4 & 5-A-1-8 BY W.L. COLEMAN, JR. FILED AS INSTRUMENT # 00821937 ON NOV. 17, 2005.
- 2) FAMILY PARTITION OF THE W.B. VALETTE & W.L. COLEMAN TRACT AND TRACTS 2, 8, 9, 10, 11 AND 12, BY W.L. COLEMAN, JR. DATED 3-20-2002

**BARBER FOR BEARINGS:**

ALL BEARINGS SHOWN HEREON ARE RESTORED OF OR AND RELIANCE TO THE BEARINGS SHOWN ON HERETOFORE MAP LISTED ABOVE.

**FLOOD ZONE NOTE:**

THE PROPERTY IS LOCATED WITHIN THE LIMITS OF THE 3" FLOOD ROAD (FRR) ZONE ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 22013 0023 F EFFECTIVE DATE 6/16/07. BASE FLOOD ELEVATION = 11.0.

**DRAINAGE:**

ANY NEW DRAINAGE DITCH REQUIRED BY THE SUBDIVISION OF THIS PROPERTY FOR THE PURPOSE OF TRANSPORTING RAINFALL OR SEWER EFFLUENT TO EXISTING PANSY UNIMPAVED DITCH SHALL BE CONSTRUCTED BY THE PROPERTY OWNERS.

**WATER:**

SOAKS OR WATER SUPPLY SHALL BE APPROVED BY THE ASCENSION PANSY HEALTH UNIT.

**SEWAGE DISPOSAL:**

NO PERSON SHALL PROVIDE A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM UNLESS THE METHOD OF SEWAGE DISPOSAL HAS BEEN APPROVED BY THE HEALTH UNIT OF ASCENSION PANSY.

<p>Deborah S. Fazekas, Co-Owner Lot 5-A-1-4</p> <p>DATE</p>	<p>David B. Fazekas, Co-Owner Lot 5-A-1-4</p> <p>DATE</p>
<p>APPROVED:</p> <p>DATE</p>	<p>DATE</p>

**ACKNOWLEDGEMENT:**

I, CARROLL CLARK, SR. DO HEREBY ACKNOWLEDGE THE MAP THIS FAMILY PARTITION WILL COME IN FORCE AND USE OF THE EXISTING PANSY SETTLEMENT OF PANSY.

**WATER RESTRICTIONS:**

FOR MOST OF PANSY SETTLEMENT OR ACCESS (17'-0" W) AS A 2" SPRINKLER ALONG DIRT.

**RIGHTS-OF-WAY:**

THE RIGHTS-OF-WAY OF STREETS SHOWN HEREON, IF NOT PREVIOUSLY ACQUIRED, ARE HEREBY ACQUIRED TO THE EXTENT OF THE PUBLIC USE OF THE PUBLIC AS SHOWN ON THIS MAP. THE PUBLIC USE OF THE PUBLIC SHALL BE RESTRICTED TO THE USE OF THE PUBLIC HIGHWAY, AND OTHER PUBLIC PURPOSES FOR THE PUBLIC USE OF THE PUBLIC. THE PUBLIC SHALL BE RESTRICTED TO THE PUBLIC USE OF THE PUBLIC. THE PUBLIC SHALL BE RESTRICTED TO THE PUBLIC USE OF THE PUBLIC.

**PRIVATE ACCESS EASEMENTS:**

THE ROADS AND STREETS SHOWN ON THIS MAP ARE PRIVATE AND NOT PUBLIC ROADS AND STREETS AND ARE TO BE MAINTAINED AND IMPROVED BY THE LOT OWNERS ONLY. THE PANSY OF ASCENSION SHALL NOT MAINTAIN OR IMPROVE ANY ROAD OR STREET SHOWN ON THIS MAP. THE PANSY OF ASCENSION SHALL NOT MAINTAIN OR IMPROVE ANY ROAD OR STREET SHOWN ON THIS MAP.

**DEDICATION STATEMENTS:**

THE EXISTING 20' PRIVATE SETTLEMENT OF PANSY SHOWN HERE ON IS USED BY DESIGNATED AS A WORK OF ART. THE EXISTING 20' PRIVATE SETTLEMENT OF PANSY SHOWN HERE ON IS USED BY DESIGNATED AS A WORK OF ART. THE EXISTING 20' PRIVATE SETTLEMENT OF PANSY SHOWN HERE ON IS USED BY DESIGNATED AS A WORK OF ART.

**FAMILY PARTITION DEDICATION:**

THE MAP REPRESENTS A FAMILY PARTITION WHERE DAVID AND DEBORAH FAZEKAS, THE OWNERS, ARE GIVING LOT 5-A-1-4-1 TO LAURA FAZEKAS FREEMAN, THEIR DAUGHTER, AND HER HUSBAND WAYNE FREEMAN.

**NOTES:**

- 1) NO ADJUTANT HAS BEEN MADE BY BENCHMARK GROUP, L.L.C. TO VERIFY THE ACTUAL USE, OCCUPANCY, STRUCTURES, EASEMENTS, RIGHTS-OF-WAY, DEED RESTRICTIONS, ETC. WITHIN OR ADJACENT TO THE PROPERTY OTHER THAN THOSE PROVIDED BY THE CLIENT.
- 2) THE BASE FLOOD ELEVATION SHOWN HEREON IS SUBJECT TO CHANGE. THE CURRENT BASE FLOOD ELEVATION SHALL BE DETERMINED BY THE ENGINEERING PROFESSION OF THE DISTRICT WATER CONTROL DISTRICT OF PANSY.
- 3) THE CONSTRUCTION OF ANY NEW DRAINAGE DITCH REQUIRED BY ANY OF THESE LOTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND NOT THE RESPONSIBILITY OF THE PANSY OF ASCENSION.
- 4) THE CONSTRUCTION OF ANY NEW DRAINAGE DITCH REQUIRED BY ANY OF THESE LOTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND NOT THE RESPONSIBILITY OF THE PANSY OF ASCENSION.

**CERTIFICATION:**

THIS IS TO CERTIFY THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH LOUISIANA REVENUE STATUTE 13:501 ET SEQ. AND CONFORMS TO ALL PANSY ORDINANCES GOVERNING THE SUBDIVISION OF LAND AND THAT THIS MAP CONFORMS TO THE MINIMUM STANDARDS FOR PROFESSIONAL SURVEYING FOR A CLASS "B" SURVEY AS ESTABLISHED BY THE LOUISIANA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

DAVID B. FAZEKAS, P.L.S.  
BENCHMARK GROUP, L.L.C.  
DATE: 1/08/2016



Map Showing Family Partition of Lot 5-A-1-4, Carroll Clark, Sr. Property and Lots 5-A-1-4-1 & 5-A-1-4-2

Deborah and David Fazekas & Laura Fazekas Freeman and Wayne Freeman

**BENCHMARK GROUP, L.L.C.**  
LAND SURVEYING • CIVIL ENGINEERING  
LAND PLANNING • LANDSCAPE ARCHITECTURE

1151 PENNYWOOD AVENUE, BATON ROUGE, LOUISIANA 70809  
PHONE: 225.348.2425 • FAX: 225.348.2416 • WWW.BENCHMARKGROUP.LLCCOM

PROJECT NO.:	DATE:
DRAWN BY: DBF	DATE: 2/28/16
DRAWING NO.:	DRAWING INC.:

February 10, 2016

**FAMILY PARTITION**

**B) Janet Arnold Property – Lots 1-A-1 and 1-A-2**

The subject property is located on Manchac Acres Road in Council District 7 and is zoned Medium Intensity (RM). The application is on behalf of Janet Arnold by Alvin Fairburn and Associates, LLC.

The owner is proposing a family partition of a Lot 1-A into Lots 1-A-1 (3.59 acres) and 1-A-2 (3.20 acres). This is a division among co-heirs with each receiving one of the lots as depicted on the plat. Lot 1-A-1 is accessed by Manchac Acres Road and 1-A-2 will be accessed by a proposed 30' private servitude of passage.

**STAFF REVIEW COMMENTS**

The required 12' utility servitude will have to be placed on adjacent Lot 1-B and the owner of that property will be required to sign the plat.

**STAFF RECOMMENDATIONS**

Staff recommends approval contingent upon the owner of Lot 1-B signing the plat to allow the servitude to be placed on his property.

**SITE DATA:**  
 TOTAL AREA: 6.79 AC.  
 TOTAL AREA: 6.79 AC.  
 TOTAL AREA: 6.79 AC.

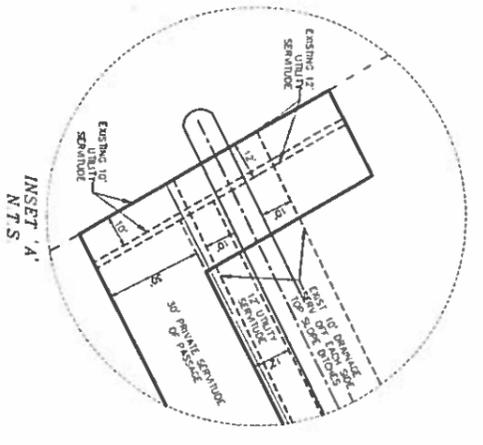
This is to certify that the undersigned is the owner or legal officer of the land shown on this plat and that the same has been approved by the Ascension Parish Health Unit.

**REMARKS:**  
 Any new drainage ditch required by the subdivision of this property for the purpose of transporting run-off or sewage treatment plant effluent to a water body shall be constructed by the property owner.

**DEEDS:**  
 The private access servitude shown here on is hereby dedicated as a private access servitude to the public use of the land shown on this plat. The servitude shall be used for the purpose of providing access to the public use of the land shown on this plat. The servitude shall be used for the purpose of providing access to the public use of the land shown on this plat.

**PRIVATE USE AND MAINTENANCE:**  
 The road and streets shown on this plat are private and not public roads and streets and shall be developed and maintained by the lot owners only. The Parish of Ascension shall not maintain, upgrade or accept said roads and streets unless and until brought up to hard surface and other standards by the lot owners or developer, according to the requirements of the Parish of Ascension. The lot owners shall not be required to travel down private roads and it is the obligation of the lot owners to bring their children to a public road for school bus pick up.

The right-of-way of streets shown hereon, if not previously dedicated, is hereby dedicated to the public use of the land shown on this plat. The servitude shall be used for the purpose of providing access to the public use of the land shown on this plat. The servitude shall be used for the purpose of providing access to the public use of the land shown on this plat.

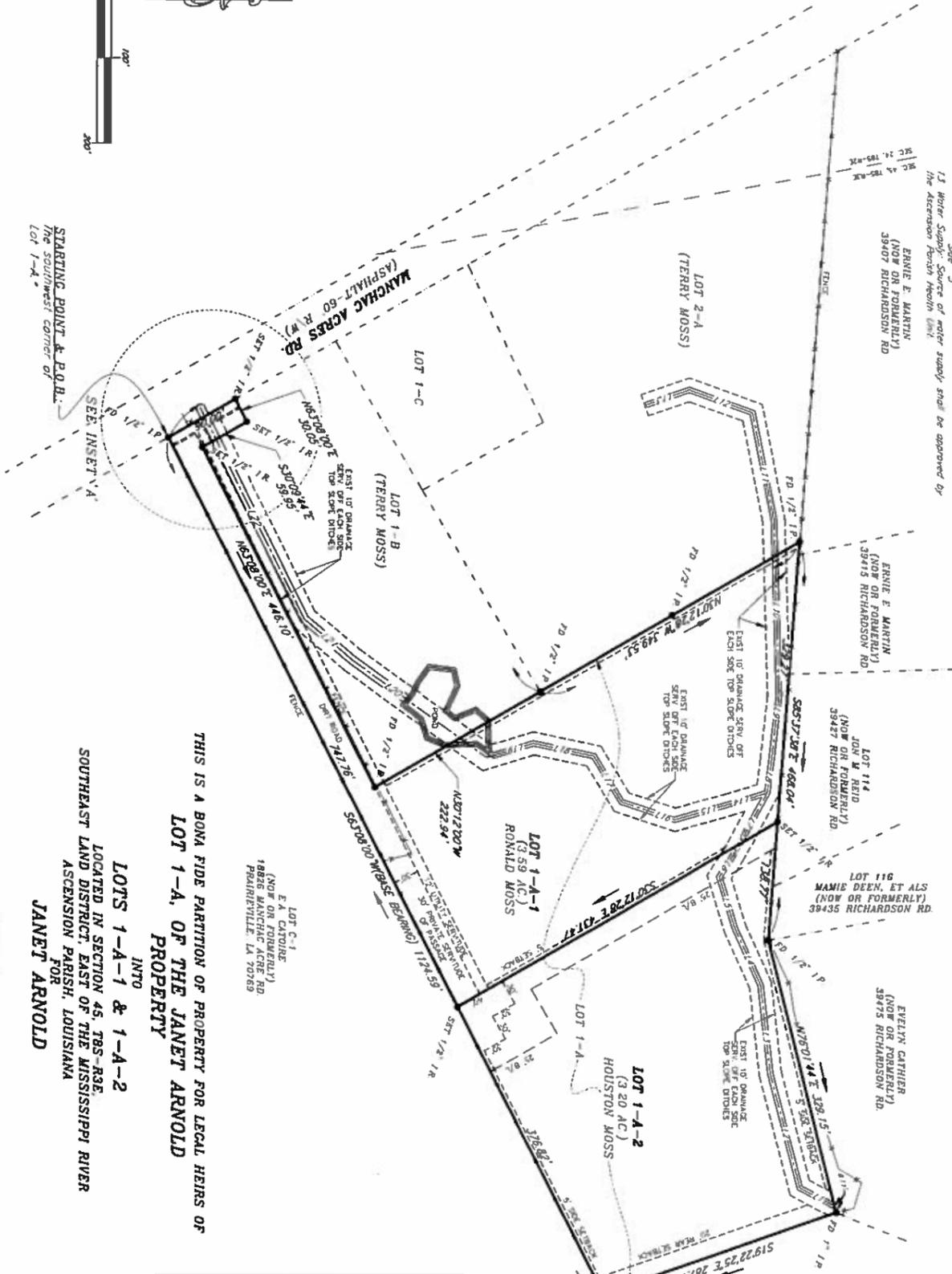


This is to certify that this plat is made in accordance with Louisiana Revised Statutes 11:5031 et seq and conforms to all requirements of the Louisiana Department of Transportation and Development. The survey was made by the undersigned, a duly licensed Professional Surveyor for Class C Survey and it was the intent of the survey to specifically restrict the land to the use of residential property only, and does not extend to third parties unless the plat is properly resealed by the engineer to reflect same.

ALVIN FAIRBURN JR., P.L.S.  
 DATE: NOVEMBER 30, 2015  
 FILE: "MOSS, TERRY"

102-FT	87-88	MS	SD	DCH
FB	PCS	PC	CALC	DWC
				CKD

APPROVED:  
 ASCENSION PARISH PLANNING COMMISSION  
 CHAIRMAN



- GENERAL NOTES:**
- The original drawing of this work is the property of Alvin Fairburn & Assoc., LLC. Reproduction of this plat is prohibited except by permission of this firm. Additional information is often needed in a continuous updating process. Cases for other reasons for actions or projects based upon available drawings for which this firm was not specifically consulted.
  - This survey was based on information supplied by the client. No abstract was obtained to verify ownership of this property. Property restrictions, improvements, servitudes, and/or rights-of-way other than those shown may exist on this property and owners or potential buyers should be aware that encumbrances are not within the scope of this survey.
  - Boundaries shown are based on reference no. 1.
  - Indicates taken from reference and not surveyed.
  - Method determination was not requested and was not included in this survey.
  - zoning: R1 (Residential Single-Family).
  - (REI) indicates information taken from reference and not verified this survey.
  - (SV) indicates information actually surveyed on the ground.
  - Section lines shown hereon taken from reference map not verified this survey.
  - Location of other improvements shown hereon together with their bearings and distances not verified this survey.
  - Setbacks: Front 25'
  - Side 5'
  - Water Supply: Source of water supply shall be approved by the Ascension Parish Health Unit.

- REFERENCE:**
- Map showing the subdivision of lots 1-A-1, 1-A-2, 1-B, 1-C, 1-D, 1-E, 1-F, 1-G, 1-H, 1-I, 1-J, 1-K, 1-L, 1-M, 1-N, 1-O, 1-P, 1-Q, 1-R, 1-S, 1-T, 1-U, 1-V, 1-W, 1-X, 1-Y, 1-Z, dated 02-17-2008, by Alvin Fairburn & Associates.
  - Map showing the subdivision of lot B & C-2, dated 8/27/2001, by C. Marie Simpson, Inc.



NUMBER	BEARING	DISTANCE	AREA
1.1	S 78° 21' 02" W	45.68'	
1.2	S 75° 11' 02" W	128.18'	
1.3	S 62° 46' 02" W	104.11'	
1.4	S 65° 30' 02" W	21.02'	
1.5	S 27° 04' 08" W	61.29'	
1.6	N 66° 12' 11" W	29.41'	
1.7	N 62° 46' 02" W	61.46'	
1.8	N 62° 46' 02" W	37.84'	
1.9	N 62° 46' 02" W	37.84'	
1.10	S 68° 11' 17" W	206.37'	
1.11	S 78° 21' 02" W	128.18'	
1.12	S 75° 11' 02" W	128.18'	
1.13	S 62° 46' 02" W	104.11'	
1.14	S 65° 30' 02" W	21.02'	
1.15	S 27° 04' 08" W	61.29'	
1.16	N 66° 12' 11" W	29.41'	
1.17	N 62° 46' 02" W	61.46'	
1.18	N 62° 46' 02" W	37.84'	
1.19	N 62° 46' 02" W	37.84'	
1.20	S 68° 11' 17" W	206.37'	
1.21	S 78° 21' 02" W	128.18'	
1.22	S 75° 11' 02" W	128.18'	
1.23	S 62° 46' 02" W	104.11'	
1.24	S 65° 30' 02" W	21.02'	
1.25	S 27° 04' 08" W	61.29'	
1.26	N 66° 12' 11" W	29.41'	
1.27	N 62° 46' 02" W	61.46'	
1.28	N 62° 46' 02" W	37.84'	
1.29	N 62° 46' 02" W	37.84'	
1.30	S 68° 11' 17" W	206.37'	
1.31	S 78° 21' 02" W	128.18'	
1.32	S 75° 11' 02" W	128.18'	
1.33	S 62° 46' 02" W	104.11'	
1.34	S 65° 30' 02" W	21.02'	
1.35	S 27° 04' 08" W	61.29'	
1.36	N 66° 12' 11" W	29.41'	
1.37	N 62° 46' 02" W	61.46'	
1.38	N 62° 46' 02" W	37.84'	
1.39	N 62° 46' 02" W	37.84'	
1.40	S 68° 11' 17" W	206.37'	
1.41	S 78° 21' 02" W	128.18'	
1.42	S 75° 11' 02" W	128.18'	
1.43	S 62° 46' 02" W	104.11'	
1.44	S 65° 30' 02" W	21.02'	
1.45	S 27° 04' 08" W	61.29'	
1.46	N 66° 12' 11" W	29.41'	
1.47	N 62° 46' 02" W	61.46'	
1.48	N 62° 46' 02" W	37.84'	
1.49	N 62° 46' 02" W	37.84'	
1.50	S 68° 11' 17" W	206.37'	
1.51	S 78° 21' 02" W	128.18'	
1.52	S 75° 11' 02" W	128.18'	
1.53	S 62° 46' 02" W	104.11'	
1.54	S 65° 30' 02" W	21.02'	
1.55	S 27° 04' 08" W	61.29'	
1.56	N 66° 12' 11" W	29.41'	
1.57	N 62° 46' 02" W	61.46'	
1.58	N 62° 46' 02" W	37.84'	
1.59	N 62° 46' 02" W	37.84'	
1.60	S 68° 11' 17" W	206.37'	
1.61	S 78° 21' 02" W	128.18'	
1.62	S 75° 11' 02" W	128.18'	
1.63	S 62° 46' 02" W	104.11'	
1.64	S 65° 30' 02" W	21.02'	
1.65	S 27° 04' 08" W	61.29'	
1.66	N 66° 12' 11" W	29.41'	
1.67	N 62° 46' 02" W	61.46'	
1.68	N 62° 46' 02" W	37.84'	
1.69	N 62° 46' 02" W	37.84'	
1.70	S 68° 11' 17" W	206.37'	
1.71	S 78° 21' 02" W	128.18'	
1.72	S 75° 11' 02" W	128.18'	
1.73	S 62° 46' 02" W	104.11'	
1.74	S 65° 30' 02" W	21.02'	
1.75	S 27° 04' 08" W	61.29'	
1.76	N 66° 12' 11" W	29.41'	
1.77	N 62° 46' 02" W	61.46'	
1.78	N 62° 46' 02" W	37.84'	
1.79	N 62° 46' 02" W	37.84'	
1.80	S 68° 11' 17" W	206.37'	
1.81	S 78° 21' 02" W	128.18'	
1.82	S 75° 11' 02" W	128.18'	
1.83	S 62° 46' 02" W	104.11'	
1.84	S 65° 30' 02" W	21.02'	
1.85	S 27° 04' 08" W	61.29'	
1.86	N 66° 12' 11" W	29.41'	
1.87	N 62° 46' 02" W	61.46'	
1.88	N 62° 46' 02" W	37.84'	
1.89	N 62° 46' 02" W	37.84'	
1.90	S 68° 11' 17" W	206.37'	
1.91	S 78° 21' 02" W	128.18'	
1.92	S 75° 11' 02" W	128.18'	
1.93	S 62° 46' 02" W	104.11'	
1.94	S 65° 30' 02" W	21.02'	
1.95	S 27° 04' 08" W	61.29'	
1.96	N 66° 12' 11" W	29.41'	
1.97	N 62° 46' 02" W	61.46'	
1.98	N 62° 46' 02" W	37.84'	
1.99	N 62° 46' 02" W	37.84'	
2.00	S 68° 11' 17" W	206.37'	

THIS IS A BONA FIDE PARTITION OF PROPERTY FOR LEGAL HEIRS OF LOT 1-A, OF THE JANET ARNOLD PROPERTY INTO LOTS 1-A-1 & 1-A-2 LOCATED IN SECTION 45, T8S-R3E, SOUTHEAST LAND DISTRICT, EAST OF THE MISSISSIPPI RIVER, ASCENSION PARISH, LOUISIANA FOR JANET ARNOLD

**ALVIN FAIRBURN & ASSOCIATES, LLC.**  
 CONSULTING ENGINEERS ~ ARCHITECTS  
 LAND SURVEYORS ~ DESIGNERS  
 LAND DEVELOPMENT CONSULTANTS  
 1289 DEL ESTE AVENUE  
 DENHAM SPRINGS, LOUISIANA 70727-1173 (225) 666-1515  
 JOB NO. A150521-24

February 10, 2016

**FAMILY PARTITION**

**C) Jennifer Joan Schexnaydre Property – Lots 1B-4A-2-A and 1B-4A-2-B**

The subject property is located on Crown Road in Council District 3 and is zoned Medium Intensity (RM). The application is on behalf of Jennifer Schexnaydre by Quality Engineering and Surveying, LLC.

The owner is proposing a family partition of a Lot 1B-4A-2 into Lots 1B-4A-2-A (1.000 acres) and 1B-4A-2-B (10.51 acres). The applicant will retain Lot 1B-4A-2-B and transfer Lot 1B-4A-2-A to her mother.

**STAFF REVIEW COMMENTS**

The applicant is requesting a variance to allow for the intersection of 2 private servitudes of access.

Signatures are required for all existing users of Crown Road.

**STAFF RECOMMENDATIONS**

Staff recommends that the variance request be denied as the following ordinance specifically prohibits the intersection of private servitudes of access:

“No more than one (1) private servitude of access, of at least thirty (30') feet in width, shall be allowed across a tract or lot as exists at the time that approval is given by the Planning & Zoning Commission for the access servitude. Even if said existing tract or lot is subsequently subdivided, no further access servitudes shall be allowed. In addition, no private access servitude may be created that intersects with an existing private access servitude.”



February 10, 2016

## MAJOR SUBDIVISION PRELIMINARY PLAT

### A) Brookstone

The subject property is located on Braud Road approximately 2015 feet south of Parker Road in Council District 7 and is zoned Medium Intensity (RM). The application is on behalf of America Homeland, LLC by Quality Engineering & Surveying, LLC.

The property is 28.76 acres and the applicant is proposing a major subdivision containing 86 single family residential lots. Lots range from 50 – 100 feet wide with a minimum size of 6,250 square feet. The subdivision will include 2.0 acres of designated park space.

#### STAFF REVIEW COMMENTS

Planning department comments:

Negotiations must continue with the Parish utilities department regarding sewer treatment/discharge.

Drainage impact study:

See attached letter from Quality Engineering containing drainage impact study comments and responses.

Traffic impact study:

The traffic impact study has been reviewed and approved. A letter granting approval is attached.

#### STAFF RECOMMENDATIONS

The proposed plat meets all guidelines for a major subdivision. However, because of frequent flooding issues on adjacent properties and a drainage impact study that has not yet been approved by the Engineering department, staff cannot recommend approval at this time.



February 1, 2016

Rhonda Braud, P.E.  
Ascension Parish Engineering Department  
42077 Churchpoint Road  
Gonzales, LA 70737

RE: **Brookstone Subdivision**  
Drainage Impact Study Review  
Ascension Parish  
QES W.O. # 15-171

Dear Ms. Braud:

We are in receipt of your comments on the Drainage Impact Study (DIS) dated January 28, 2016 and have incorporated those comments into the attached revised Drainage Impact Study. In regards to the engineering review comments, we offer the following responses:

Note that your comments are in black; our responses are in red.

- 1) There are no erosion control measures mentioned for the pond. To be addressed in Construction Plan submittal, as requested.
- 2) There is no regional watershed map with acreage and contours. A Regional Watershed Map has been added as Exhibit 3. The Soils Map has been relocated to Appendix C.
- 3) Hydraulic length used to determine Tc is not provided for subbasins. To be addressed in Construction Plan submittal, as requested.
- 4) Tc values cannot be duplicated. Let's discuss. To be addressed in Construction Plan submittal, as requested.
- 5) Input and output flowrates of ponds must be graphed to explain summation. To be addressed in Construction Plan submittal, as requested.
- 6) How do subbasins 6 and 6a contribute to 3L? Flow patterns show otherwise. Exhibits 4 and 5 have been updated to show more clearly that Pre-Development drainage areas 6 and 6a drain to the east along the northern boundary of the site and then north in an existing 18" plastic culvert to the Parker roadside ditch. The Parker roadside ditch drains east to the Marty Buratt Ditch which drains south into the existing detention pond for Parker Estates (3L). See also Appendix D, Parker Place Final Plat and Construction Plans.
- 7) Include contours on watershed. The added Regional Watershed Map, Exhibit 3 includes elevation contours.

However, based upon the new approach where calculations are not required until the construction plans are submitted, please only consider #'s 2, 6, and 7 for the resubmittal for the preliminary plat. Other comments can be addressed with the refined DIS submitted with construction plans.

**QUALITY**  
Engineering & Surveying, LLC



18350 Hwy 42  
Port Vincent, LA 70726  
Office: 225-698-1600  
Fax: 225-698-3367  
[www.qesla.com](http://www.qesla.com)

I trust that this letter and the attached Revised Drainage Impact Study submittal addresses your concerns and comments; However, If you should have any questions or comments concerning this matter, please do not hesitate to contact me directly.

Sincerely,

**QUALITY ENGINEERING & SURVEYING, LLC**

*Deric J. Murphy*

Deric J. Murphy, P.E.

# PARISH OF ASCENSION

## ENGINEERING DEPARTMENT



Tommy Martinez  
Parish President

January 12, 2016

Mr. Prasanth Malisetty  
Neel-Schaffer, Inc.  
10000 Perkins Rowe  
Building G 360  
Baton Rouge, LA 70810

**RE: Brookstone Subdivision (DPZ #15-063)  
Traffic Impact Study Review**

Dear Mr. Malisetty:

The Traffic Impact Study submitted to the Office of Planning and Development on January 7, 2016 and dated January 5, 2016 has been reviewed for compliance with Ascension Parish Regulations. It is noted that Neel-Schaffer has prepared the Traffic Impact Study in accordance with acceptable standards.

We agree that based on the number of lots proposed for the subdivision that no external traffic improvements will be required. Based on our review, the Traffic Impact Study as submitted is approved.

This letter is not a permit approval or a guarantee thereof. Any remaining items required during the permit application process must be addressed prior to permit issuance by the Office of Planning & Development.

If you have questions or comments regarding any review comments please feel free to contact me.

Sincerely,

Charles "Bob" Turner, P.E.  
Department of Engineering  
Parish of Ascension  
(225) 450-1378  
cturner@apgov.us



January 14, 2016

Quality Engineering and Surveying, LLC  
18350 Highway 42  
Port Vincent, Louisiana 70726

Attention: Mr. Scott Burchfield, CFM  
Reference: Brookstone Development  
Right of Way Notification  
SPLC Inquiry # 15204

**Shell Pipeline Company LP**

Land and Permitting  
One Shell Square, #1046  
701 Poydras Street  
New Orleans, LA 70139  
Tel (504) 425-2204  
Fax (504) 425-7561  
Email [staci.nelson@shell.com](mailto:staci.nelson@shell.com)

Dear Mr. Burchfield:

Thank you for informing us about your proposed project that may impact the Bengal and Norco-Baton Rouge Pipelines located in Ascension Parish, Louisiana. We appreciate the opportunity to work with you and your company in the early planning stages of your development activity.

Attached is Shell Pipeline's General Requirements for Crossing Shell Pipelines with Pipelines/Roads/Utility Lines for the GOM Region. Please be advised that you, your agents, contractors and/or subcontractors will observe these requirements during the development and construction of your project.

As I've indicated these are Shell's GENERAL requirements and may be subject to additional conditions based on SPLC's review of the information/plans you submit. The receipt of these general requirements is not a consent by SPLC to proceed with any construction activity in the vicinity of any Shell owned and/or operated pipeline. All work within the pipeline right of way must be reviewed and an agreement issued prior to doing any work in the pipeline right of way.

Call if you have any questions or need any additional information.

Thank you,

A handwritten signature in cursive script that reads "Staci Nelson".

Staci Nelson

Right-of-Way Agent

Representing Shell Pipeline Company LP



*Shell Pipeline Company LP*  
701 Poydras Street Suite 1046  
New Orleans, La. 70139

## **SHELL PIPELINE COMPANY LP**

### **GENERAL REQUIREMENTS FOR CROSSING SHELL PIPELINES WITH PIPELINES/ROADS/UTILITY LINES GOM REGION**

We appreciate the opportunity to work with you and your company in the early planning stages of your development activity.

Working together and following our pipeline safety requirements will help:

- Protect the safety of your employees, the environment and the surrounding community.
- Reduce the risk of damage to our pipeline and related facilities.
- Ensure an adequate work area for future pipeline maintenance and/or repair work.
- Enable effective corrosion protection for our pipeline.
- Minimize any conflicts that may arise.

To assist in this effort, project scope along with construction drawings should be submitted to Shell for our comment/approval before any construction over or around our pipeline commences. This includes the design and construction of temporary roads or work pads where equipment is to operate or cross over the pipeline. Plans should include the three phone numbers listed in item #11 below and have a printed reminder to notify Shell at least 48-hours prior to commencement of work near the pipeline.

**AT NO COST TO THE CONTRACTOR, A SHELL REPRESENTATIVE WILL ERECT TEMPORARY FLAGS MARKING THE PIPELINE LOCATION AND SHALL BE PRESENT DURING ALL ACTIVE WORK PERIODS AS DEFINED IN ITEM #12 BELOW TO OBSERVE EXCAVATION OR OTHER CONSTRUCTION ACTIVITIES NEAR THE PIPELINE.**

**ANY WORK PERFORMED NEAR THE PIPELINE WITHOUT THE PRESENCE OF A SHELL REPRESENTATIVE WILL NECESSITATE THAT THE PIPELINE BE EXPOSED FOR INSPECTION AND NEEDED REPAIRS PERFORMED AT THE CONTRACTOR'S OR RESPONSIBLE PARTY'S COST.**

## DESIGN AND CONSTRUCTION

1. **ALL PIPELINES, UTILITY LINES** and other underground facilities constructed across a Shell Pipeline Company LP ("Shell") owned or operated pipeline ("Shell Pipeline") must be installed with a minimum vertical separation of 24 inches between structures. All facilities crossing a Shell pipeline shall be made of, or encased in, steel pipe with threaded or welded joints the entire width of Shell's right of way. Horizontal separations will be determined on a case-by-case basis. Electrical conduit and cables are excluded (please refer to paragraph 2). All work and cleanup will be conducted in a manner acceptable to Shell's on-site representative.
2. **ALL UNDERGROUND ELECTRICAL CABLES** shall be installed with a minimum vertical separation of 24 inches between structures with all plans, work and cleanup conducted in a manner acceptable to Shell's on-site representative. The electrical cable must be enclosed in conduit (steel or Schedule 80 PVC). It should be covered with red reinforced concrete with a minimum width of 6 inches on each side and above the conduit, for the entire width of Shell's right of way.
3. **ALL UNDERGROUND FIBER OPTIC CABLES** shall be installed with a minimum vertical separation of 24 inches between structures with all plans, work and cleanup conducted in a manner acceptable to Shell's on-site representative. Horizontal separations will be determined on a case-by-case basis. In addition, the fiber optic cable must be enclosed in conduit (steel or Schedule 80 PVC).
4. **ALL PROPOSED ROADS, STREETS, OR DRIVEWAYS** shall be constructed with a minimum cover of 48 inches, including the sub-grade, as measured from the top of the Shell pipeline to the bottom of the pavement (road, street, or driveway). If a Shell pipeline will require adjustment to accommodate a roadway, street or driveway crossing, the cost of any such lowering or relocation shall be borne by the party or parties requesting the adjustment. With each request involving roads, streets or driveways, Shell will reserve the right to excavate to expose and inspect its pipeline(s) to determine the need for pipe replacement, full encasement, or heavy wall pipe. The cost of this activity will be at the expense of the requesting party.

### PIPELINE MINIMUM COVER REQUIREMENTS

1. 48 inches from bottom of pavement under a road, street, or driveway.
2. 36 inches under all other surfaces within the right of way.

5. **ALL ROAD DITCH AND DRAINAGE CANAL/DITCH** crossings shall be constructed with a minimum cover, and measured from the lowest point in road bar ditch, to the top of pipe, as follows:
  1. Concrete lined – 12 inches.
  2. Unlined – 36 inches.

Any drainage canals shall be constructed with a minimum of 60 inches of cover below the ultimate flow line.

6. **ALL PAVING** (other than for road, driveway or street crossings of a Shell pipeline, e.g., parking lot) to be constructed over a Shell pipeline shall (a) be reinforced, (b) not exceed 4 inches in thickness, (c) be sectioned in 10 foot by 15 foot panels (15' dimension shall be perpendicular to the pipeline) with appropriate expansion joints, (d) contain lifting rings, and (e) conform to the minimum cover requirements stipulated above.

**Shell shall have the right to cut and remove any pavement or other surface structures now or hereafter located over or across a Shell pipeline, without any obligation to repair, replace, resurface or dispose of removed material, for the purpose of exercising any rights granted to Shell under the pipeline rights of way and easements.**

7. **TEMPORARY (HAUL) ROAD** crossings shall be constructed with a minimum ground cover (as measured from the surface of the road to the top of the pipeline) of five (5) feet. A temporary earthen berm may be constructed to meet this requirement. Where it is necessary for heavy equipment to cross the pipeline, additional measures may be needed to effectively distribute the weight of such equipment, for example, installing additional cover, timber matting and/or a temporary bridge for passage over the pipeline.
8. **LAKES OR OTHER BODIES OF WATER** shall not be constructed over the pipeline or within the boundaries of the pipeline easement. Additionally, the surface cannot be developed or changed in any way that would cause rainwater or runoff to collect on the pipeline right-of-way.
9. **DIRECTIONAL DRILLING OR BORING** shall require additional damage prevention measures, whether installing a crossing or otherwise conducting such operations within twenty (20) feet of the pipeline. It is Shell's option whether peepholes or sheet piling be installed to an elevation lower than the pipeline, before drilling/boring to help ensure its protection. Shell requires continuous tracking of the drilling head as well as using a physical technique (such as

probing) to ascertain the exact location of the head before it crosses the Shell pipeline. Shell may also require that the pipeline be exposed when near drill/bore entry or exit points.

10. If Shell determines it is necessary to lower, encase or otherwise adjust a Shell pipeline because of the landowner's (developer, etc.) construction activity, the landowner or developer shall reimburse Shell for the cost of lowering, encasement or other adjustment.

#### COMMUNICATION AND ADDITIONAL REQUIREMENTS

11. Please notify **Mr. Barney Callahan, Maintenance Supervisor**, at **(225) 746-2450**, cell **(225) 445-6870**, of Shell's Maintenance Department in **St. James, LA** at least 48 hours prior to commencing any excavating or construction activity in the vicinity of any Shell pipeline. Excavators are required by law to contact the appropriate One-Call Center for their state. In **Louisiana**, call **Louisiana One-Call**, at **811** or **1-800-272-3020** prior to commencing excavation or other such construction activity, which may impact an underground utility. If you are unable to contact the above Shell representative, contact the Pipeline Control Center, and the information will be relayed.

Pipeline Control Center  
24 Hours  
**1-800-852-3602**

12. No excavating or other construction activity that could impact the pipeline (e.g., directional drilling, boring, sheet piling, setting trench boxes, etc.) shall be conducted within ten (10) feet of any Shell pipeline in the absence of a Shell representative. Notice shall be given to Shell at least forty-eight (48) hours prior to commencing each occurrence of construction activity within ten (10) feet of any Shell pipeline.
13. Any contractor, developer, etc., planning blasting operations within 500 feet of any Shell Pipeline shall submit a blasting plan to Shell for approval. This plan will include hole depth, diameter, spacing, burden, delay times, maximum charge weight per delay, sequence, explosive type and blast zone location relative to the Shell pipeline. Under NO circumstances will blasting or seismic shot holes be allowed within one hundred (100) feet of any Shell pipeline.

General Requirements for crossing Shell's Pipelines

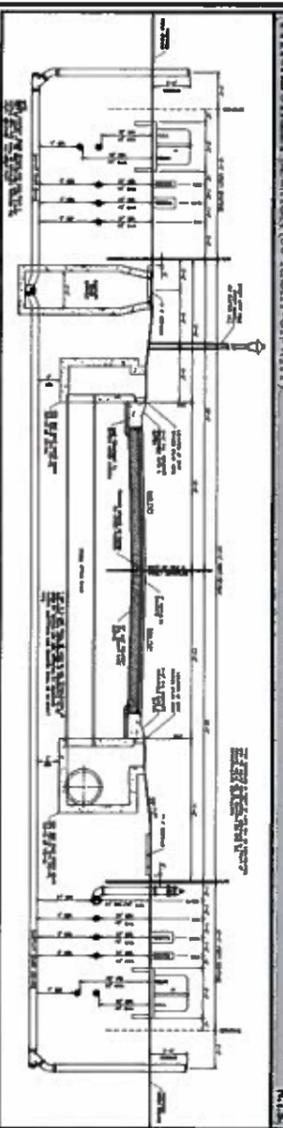
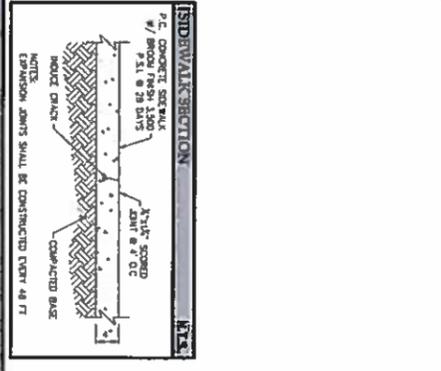
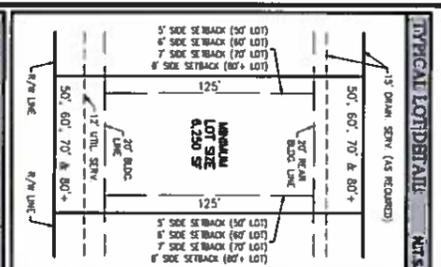
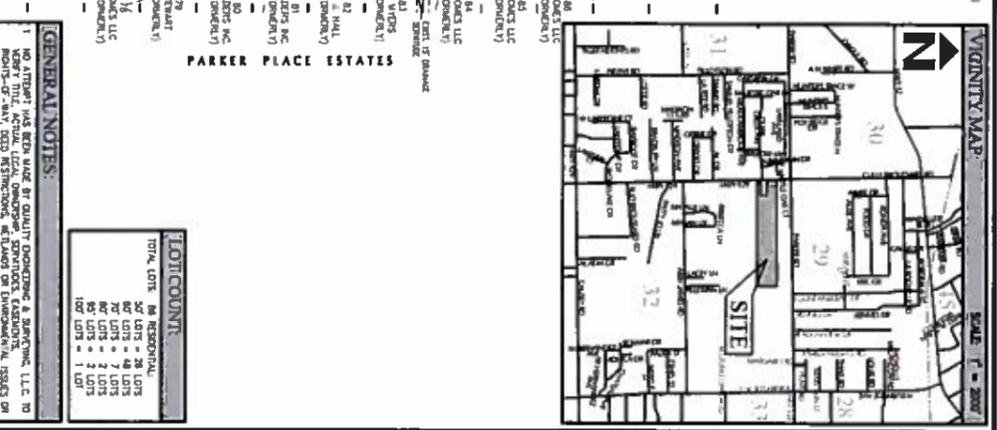
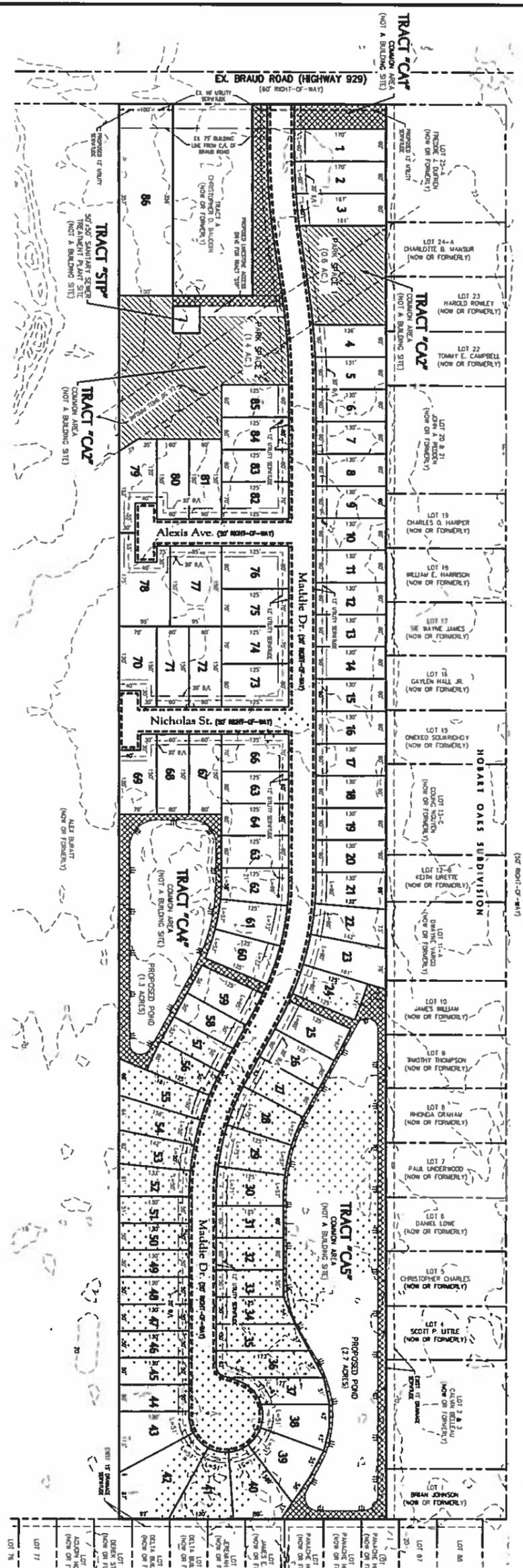
14. No signs, monuments, building, structures, manholes, shrubbery, or trees shall be located within a Shell right of way and easement area so that the pipeline can be maintained without damaging these structures or being impeded by them.
15. No excavations shall be made on land adjacent to any Shell pipeline which will in any way impair, withdraw lateral support, cause subsidence, create the accumulation of water, or cause damage to the Shell pipeline or right of way.
16. No fence shall be placed across a Shell right of way without written permission from Shell. If fences are permitted, 14-foot gates must be installed on the right of way.
17. Side cutters shall be removed from the bucket of excavation equipment, and a bar shall be installed across the teeth during excavation in the vicinity of any Shell Pipeline.
18. No paving is to be placed over any Shell right of way without written permission from Shell.
19. Any damage to existing Shell Pipeline markers and/or signs, test leads, vent pipes, fences, gates and/or any other associated pipeline apparatus resulting from any construction operations shall be repaired to Shell's satisfaction or replaced at the sole cost and expense by the damaging party within 15 days after the damage has occurred.
20. All written requests should be supported with plans and forwarded to:

Shell Pipeline Company LP

ATTN: Clarinda Maldonado- Encroachment Specialist

Phone: 800-438-7752

Email: [SPLC-Encroachments@shell.com](mailto:SPLC-Encroachments@shell.com)



**LOT/COUNT**

TOTAL LOTS	86
RESIDENTIAL	86
LOT 1	1
LOT 2	1
LOT 3	1
LOT 4	1
LOT 5	1
LOT 6	1
LOT 7	1
LOT 8	1
LOT 9	1
LOT 10	1
LOT 11	1
LOT 12	1
LOT 13	1
LOT 14	1
LOT 15	1
LOT 16	1
LOT 17	1
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LOT 78	1
LOT 79	1
LOT 80	1
LOT 81	1
LOT 82	1
LOT 83	1
LOT 84	1
LOT 85	1
LOT 86	1

**GENERAL NOTES:**

- NO ATTEMPT HAS BEEN MADE BY QUALITY ENGINEERING & SURVEYING, LLC TO VERIFY THE ACTUAL LEGAL BOUNDARIES, EASEMENTS, RIGHTS OR OTHER ENCUMBRANCES THAT MAY EXIST ON THE PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.
- LOT AREAS AND LOT FRONTAGE LISTED ON EXCEED THE UNPAID RECORDS OF THE TOWN OF DICKINSON ESTABLISHED BY DICKINSON PARISH SUBDIVISION RECORDS.
- ADJACENT PROPERTY OWNER REPRESENTATION AS SHOWN HEREON WAS TAKEN FROM THE RECORDS OF THE TOWN OF DICKINSON AND IS NOT TO BE USED FOR ANY OTHER PURPOSES.
- ALL IMPROVEMENTS HEREON SHALL BE SUBJECT TO DICKINSON PARISH SUBDIVISION RECORDS.
- THIS PLAN IS FOR CONCEPTUAL PLANNING USE ONLY. THE LAYOUT IS SUBJECT TO CHANGE BASED UPON FINAL DICKINSON DESIGN AND APPROVAL.
- ALL LOTS SHOWN HEREON HAVE THE UNPAID LOT DEED AND LOT FRONTAGE FROM DICKINSON PARISH SUBDIVISION RECORDS.
- NO CORNER TIES OR PUBLIC STREETS SHOWN 1/4 MILE OR THE PROPOSED DICKINSON SUBDIVISION.
- ALL UTILITIES, RIGHTS-OF-WAY AND SERVICES SHALL BE DEICATED TO THE PARISH FOR PUBLIC USE.
- A UTILITIES DISTRIBUTION HAS BEEN INCLUDED IN THE SUBDIVISION. TO SERVICE MUST BE CONSTRUCTED PRIOR TO CERTIFICATE OF OCCUPANCY BEING ISSUED FOR EACH LOT.

**PRELIMINARY PLAT**  
THIS PLAT IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT.

**LEGEND**

- STREETS OPEN SPACE
- STREETS PARK SPACE
- STREETS WETLANDS
- STREETS EASEMENTS
- STREETS OTHER

**STREETS AND PARK SPACES STANDARDS:**

- ONE CLASS "A" TREE TO BE PROVIDED FOR EACH LOT. TREES MUST BE PLANTED PRIOR TO THE ROAD OPENING FOR EACH LOT.
- ONE CLASS "B" TREE AND ONE CLASS "C" TREE TO BE PROVIDED FOR EACH LOT. TREES MUST BE PLANTED PRIOR TO THE ROAD OPENING FOR EACH LOT.
- THE PLANTING OF TREES SHALL BE SUBJECT TO THE RECOMMENDATIONS AND THE MAINTENANCE AND CARE OF ALL COMMON AREAS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER.

**PROPOSED PARKS:**

TOTAL PARK SPACE REQUIRED	1.75 ACRES
PARK SPACE 1	0.8 ACRES
PARK SPACE 2	1.4 ACRES
TOTAL PARK SPACE PROVIDED	2.2 ACRES

**GENERAL SUBDIVISION INFORMATION:**

**Zone:** R-1

**Land Use:** SINGLE FAMILY RESIDENTIAL

**Land Characteristics:** PALMFRONT, WOODLAND, ETC.

**Acres:** 28.78

**Streets:** STREETS TWENTY-SEVEN (27) FEET WIDE WITH TRIPLE SIDING, STREETS TWENTY-FOUR (24) FEET WIDE WITH TRIPLE SIDING, STREETS TWENTY-TWO (22) FEET WIDE WITH TRIPLE SIDING, STREETS TWENTY (20) FEET WIDE WITH TRIPLE SIDING, STREETS FIFTEEN (15) FEET WIDE WITH TRIPLE SIDING, STREETS TEN (10) FEET WIDE WITH TRIPLE SIDING, STREETS FIVE (5) FEET WIDE WITH TRIPLE SIDING.

**Other:** STREETS TWENTY-SEVEN (27) FEET WIDE WITH TRIPLE SIDING, STREETS TWENTY-FOUR (24) FEET WIDE WITH TRIPLE SIDING, STREETS TWENTY-TWO (22) FEET WIDE WITH TRIPLE SIDING, STREETS TWENTY (20) FEET WIDE WITH TRIPLE SIDING, STREETS FIFTEEN (15) FEET WIDE WITH TRIPLE SIDING, STREETS TEN (10) FEET WIDE WITH TRIPLE SIDING, STREETS FIVE (5) FEET WIDE WITH TRIPLE SIDING.

**QUALITY ENGINEERING & SURVEYING, LLC**  
11111 Highway 101, Suite 100, Baton Rouge, LA 70804  
Phone: (504) 383-1111  
Fax: (504) 383-1112  
www.qualityeng.com

**AMERICA HOMELAND, L.L.C.**  
P.O. BOX 8008  
BATON ROUGE, LOUISIANA 70808

**BROOKSTONE**

**PRELIMINARY PLAT**

**DATE:** JANUARY 2011

February 10, 2016

## MAJOR SUBDIVISION PRELIMINARY PLAT

### A) Silver Oaks PUD – Revision to Final Development Plan

The subject property is located on the south side of Germany Road approximately 1500 feet east of Airline Hwy in Council District 9 and is currently zoned as planned unit development (PUD). The application is on behalf of Ascension Properties INC by Quality Engineering and Surveying, LLC.

The final development plan was originally approved by the Planning Commission on February 11, 2015 and revised in December of 2015. The applicant is requesting approval of a revision to the final development plan.

The revision being proposed removes the connection between the single family and multifamily portions of the development, adds additional units and appropriate parking to the multi family portion of the development, and adds a pool and shade pavilion with restrooms to the single family portion.

#### Phase 1 - Single family

Pool - at least 600 square feet in size has been added

Pool deck – at least 1000 square feet has been added

Shade pavilion with restroom has been added

Pedestrian access near lots 14 and 15 has been removed

#### Phase 2 and 3 - Multi family

Units increased from 280 to 336 (+56)

Bedrooms increased from 440 to 528 (+88)

Parking increased from 521 to 528 (+7)

Density in multifamily increased from 15.5 units/acre to 18.7 units/acre

Total gross density increased from 11.3 units/acre to 13.2 units/acre

### STAFF REVIEW COMMENTS

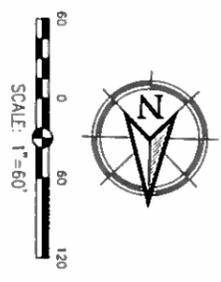
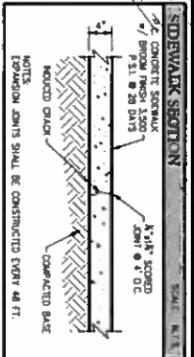
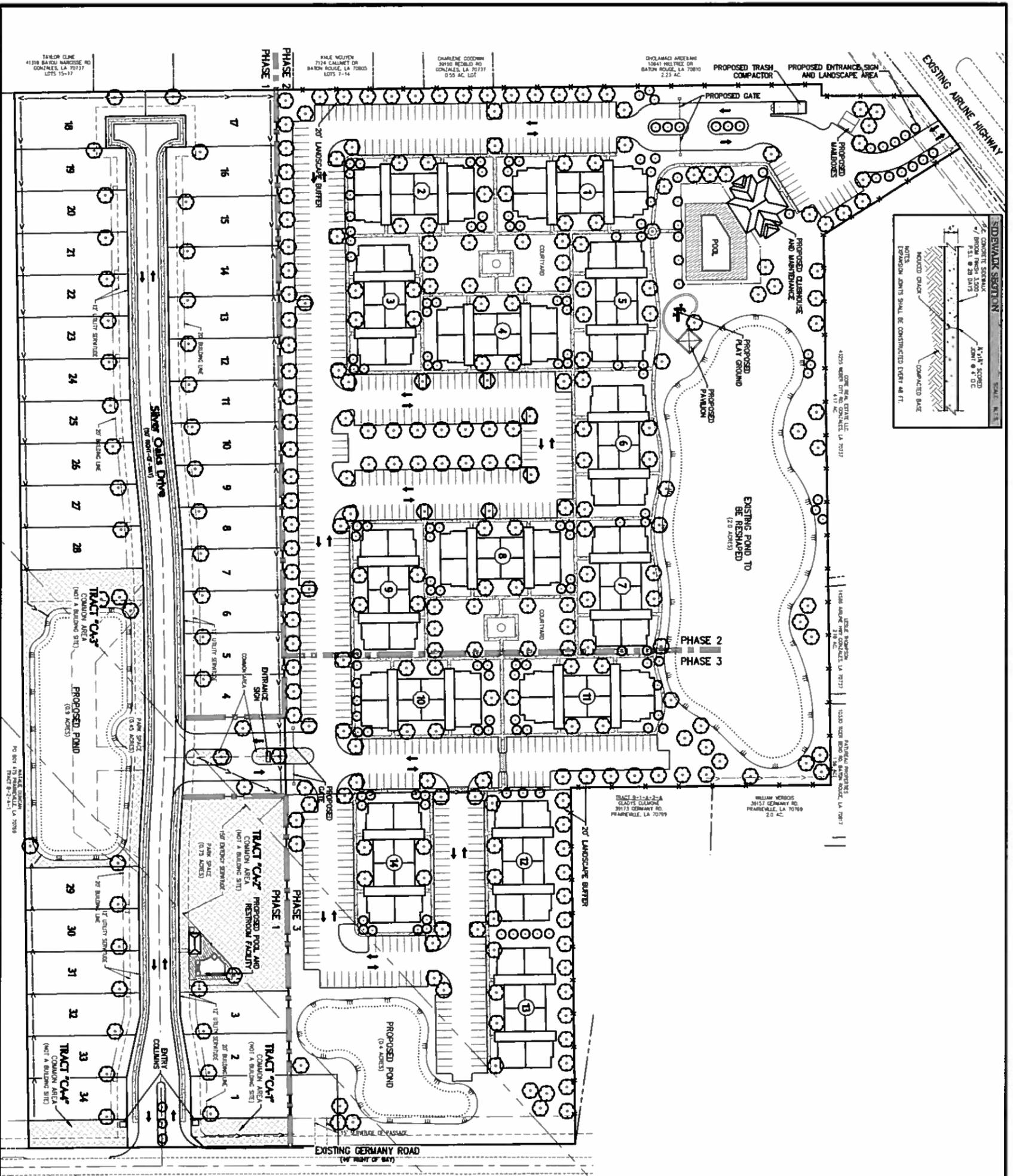
In the current approved final development plan the single family residents would have access to the pool at the multi family area. However, removal of the connection between the single family and multifamily, prevents the single family residents from accessing the pool. In exchange for this, the developer is adding a pool to the single family portion.

Staff feels that the increase in the number of units is negligible because of the improvements at the Germany/Airline intersection that the developer has already agreed to provide.

### STAFF RECOMMENDATIONS

Staff recommends approval.





LEGEND	
	CLASS 1/2 TREES (D17 - 200)
	CLASS 3/4 TREES (D17 - 147)
	PEDESTRIAN CIRCULATION / STOKULUS
	VEHICULAR CIRCULATION
	6' HIGH WOOD FENCE

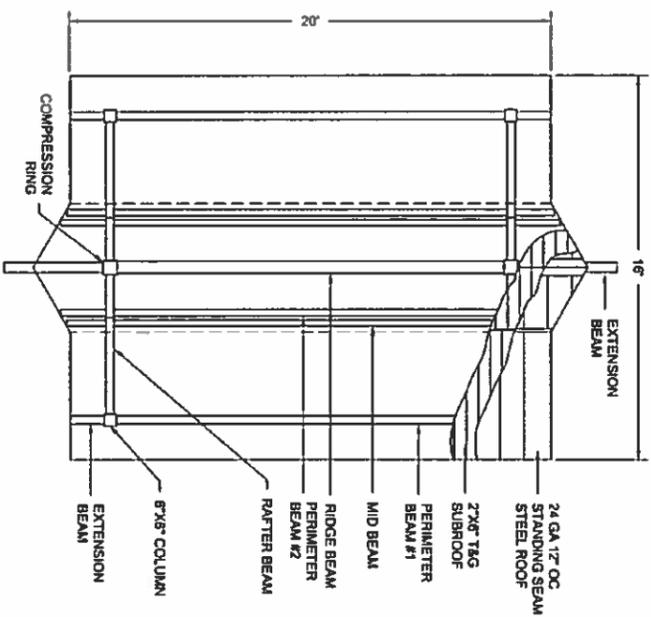


**The Architectural Studio**  
**JAMES D. DODDS**  
 ARCHITECT AIA  
**LANCE MALLEY**  
 ARCHITECT AIA  
 400 North Seventh Street  
 Baton Rouge, LA 70802  
 Office (225) 215-1177  
 Fax (225) 215-1178  
 info@archstudio.com

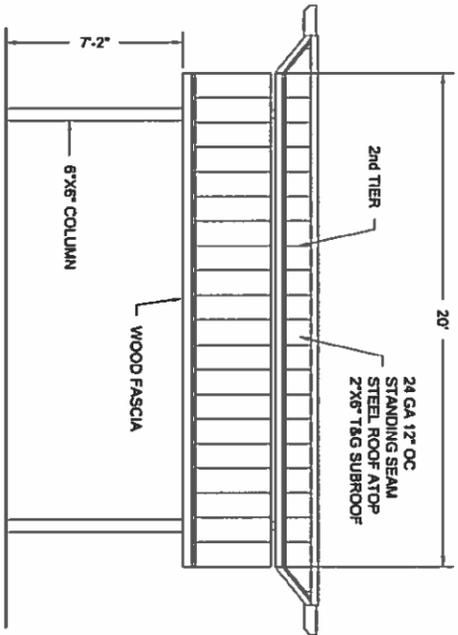
**QUALITY**  
 PROJECT MANAGEMENT & SURVEYING, LLC  
 11111 Highway 101, Suite 1111  
 Baton Rouge, LA 70804  
 Phone: (225) 215-1177  
 Fax: (225) 215-1178  
 www.qualityma.com

**ASCENSION PROPERTIES INC.**  
 11111 Highway 101, Suite 1111  
 Baton Rouge, LA 70804  
 Phone: (225) 215-1177  
 Fax: (225) 215-1178  
 www.ascensionproperties.com

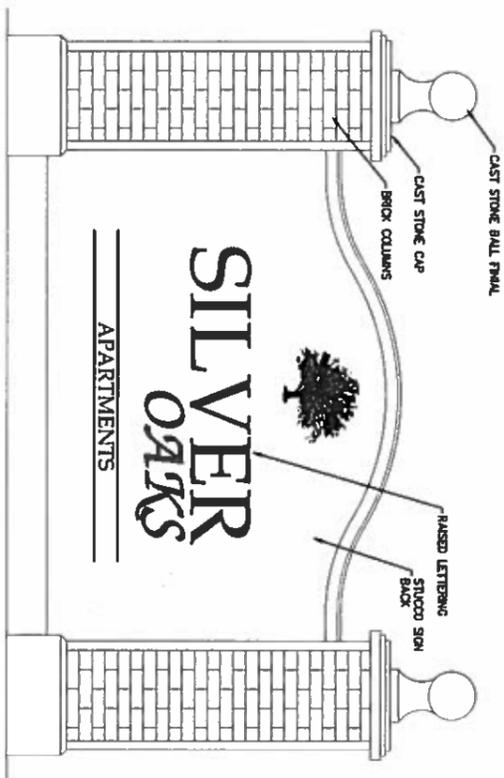
DATE: 1/15/18  
 DRAWN BY: JLD  
 CHECKED BY: JLD  
 PROJECT NO.: 14507  
 SHEET NO.: 2 OF 7



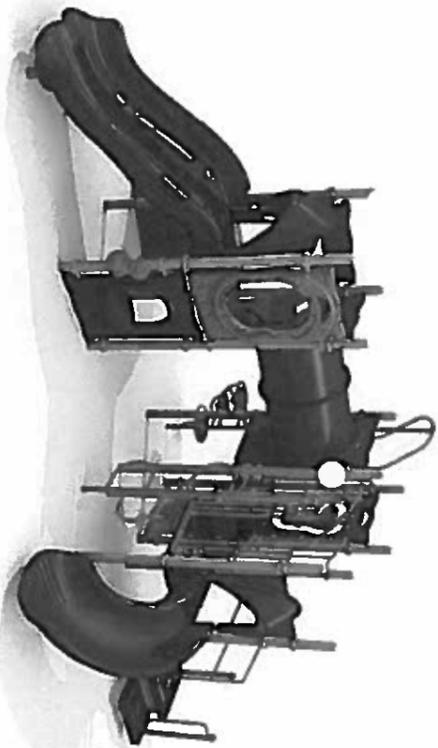
PLAN: 16' x 20' SHADE PAVILION AT PLAYGROUND  
(N.T.S.)



ELEVATION: 16' x 20' SHADE PAVILION AT PLAYGROUND  
(N.T.S.)



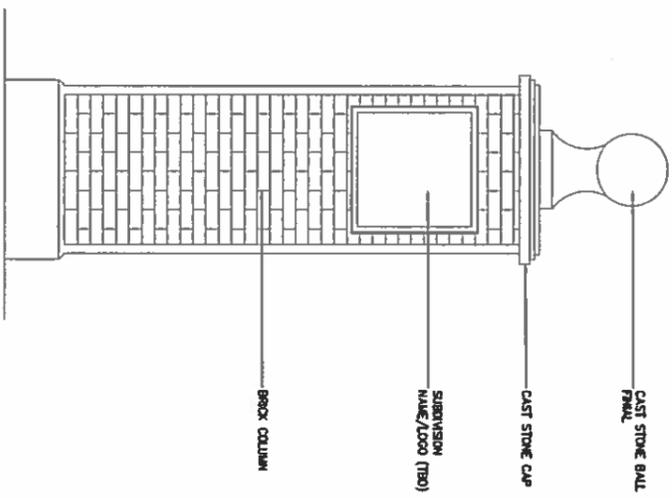
CONCEPTUAL SIGN AT MAIN ENTRANCE (AIRLINE HWY.)  
(N.T.S.)



PLAY EQUIPMENT (2-12 YRS)  
(N.T.S.)



CONCEPTUAL SIGN AT SECONDARY ENTRANCE (GERMANY RD.)  
(N.T.S.)



CONCEPTUAL ENTRY COLUMNS AT SUBDIVISION ENTRANCE (GERMANY RD.)  
(N.T.S.)

**SILVER OAKS**

**AMENITIES CONCEPT DETAILS**

DESCRIPTION: 104'x120' IN SECTION / 7' TOWER / 2 EAST RAMPAGE & SOUTH / SOUTH SIDE BRUSH / ASCENSION PAVILION / LOUISIANA

CLIENT: ASCENSION PROPERTIES INC.  
16126 BLAINE RD.  
TRAINERVILLE LA 70169

**The Architectural Studio**  
ARCHITECTURAL CONSULTANTS

**JAMES D. DODDS**  
ARCHITECT A.I.A.

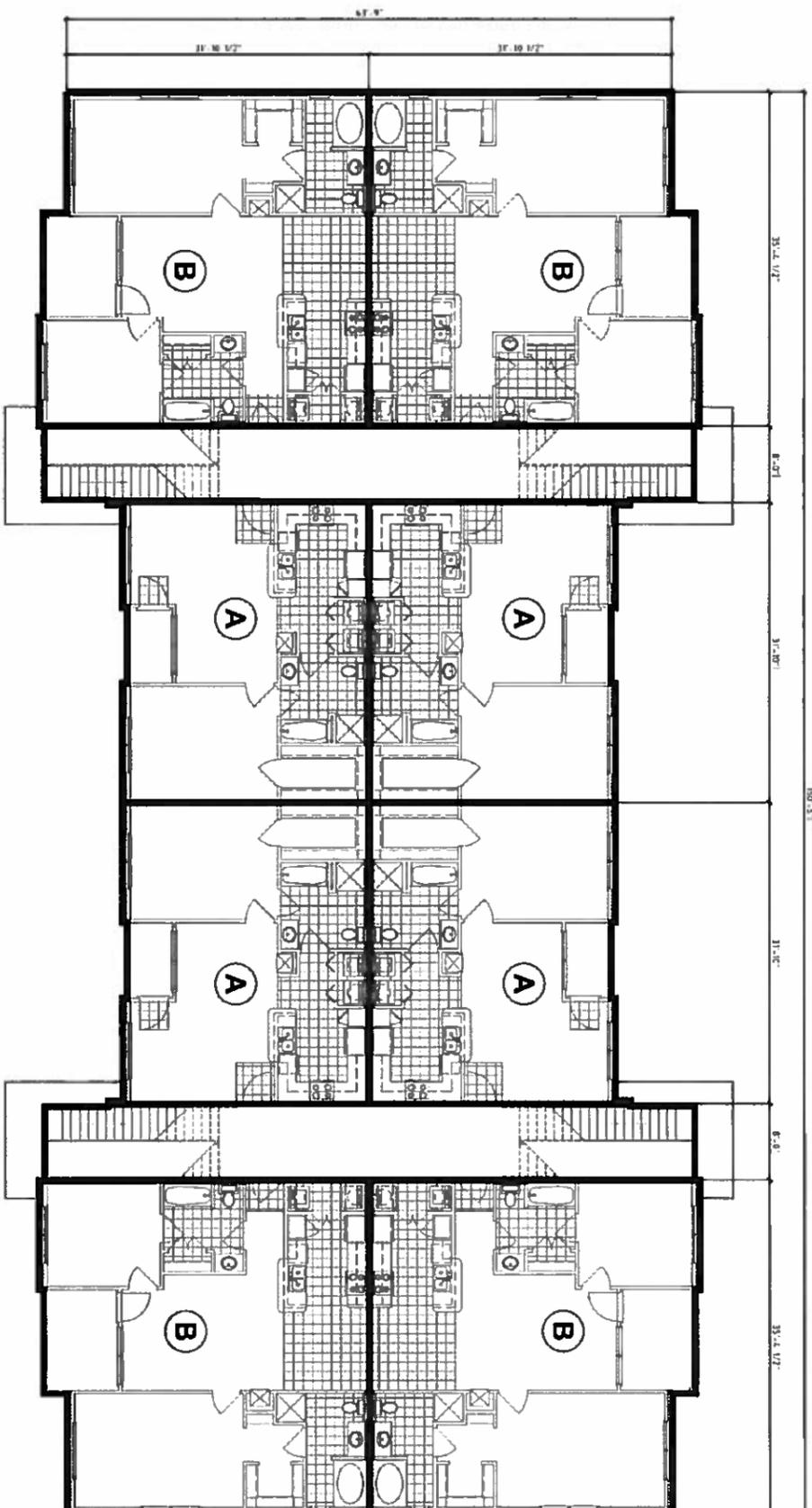
**LANCE MALLEY**  
ARCHITECT A.I.A.

429 North Seventh Street  
Baton Rouge, LA 70802  
Office: (225) 213-1177  
Home: (225) 213-1178  
lance@archstudio7.com

**Quality**  
Engineering & Surveying, LLC  
11101 Highway 101  
Baton Rouge, LA 70802  
TEL: 225-213-1140 FAX: 225-213-1143  
www.QEBA.com

2020 Year 1/14/21 Set for the time being. Please refer to the project schedule for the most current information.  
Project No. 14-007 Date: JANUARY 2021 Scale: 3" = 7'

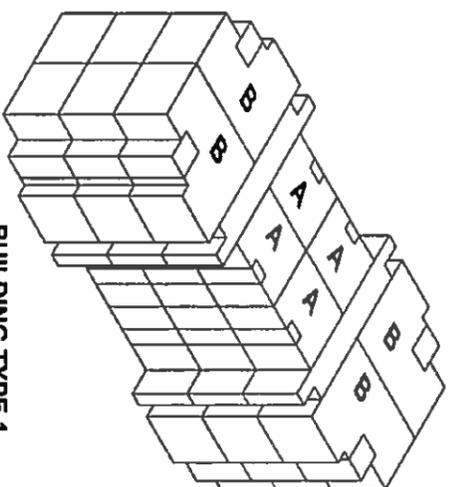
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**BUILDING TYPE 1**  
SCALE: 1/8"=1'-0"

**BUILDING TYPE 1:**

LEVEL	UNIT TYPE	RENTAL	NET AREA (SQ FT)	GROSS AREA (SQ FT)	UNIT BLDG	TOTAL NET AREA (SQ FT)	TOTAL GROSS AREA (SQ FT)	TOTAL AREA (SQ FT)
TOTALS	A	1/1	785	834	4	3140	3336	
	B	2/2	103	118	4	412	472	
	UNIT AREA SUBTOTAL PER FLOOR (sq ft)				8	726	806	918
BUILDING TOTALS	UNIT TYPE				12	8420	9276	
	A		12	13,230	14,208			
	B		12	22,686	24,444			
	UNIT AREA TOTAL					277,872	289,728	27,414
PROJECT SUB-TOTAL:			12	288	288	277,872	289,728	27,414
NOTES:	TOTAL GROSS AREA PER BUILDING:							
	TOTAL PER UNIT WHEN BUILDING:							
	TOTAL FINISHED UNIT PER BUILDING:							



**BUILDING TYPE 1**

**BUILDING ANALYSIS (TOTAL ON SITE)**

UNIT TYPE	NUMBER OF BUILDINGS	1	2	NUMBER OF UNITS
A	1 BED, 1 BATH	12	12	168
B	2 BED, 2 BATH	12	12	144
C	3 BED, 2 BATH	12	12	24
	TOTAL UNITS:	288	48	336

NOTE:  
ALL DRAWINGS LOCATED ON THIS SHEET PROVIDED BY "THE ARCHITECTURAL STUDIO"

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ARCHITECTURAL  
ARCHITECTS

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Fax: (225) 215-1178  
www.quality.com

**ARCHITECTURAL BUILDING TYPE 1**

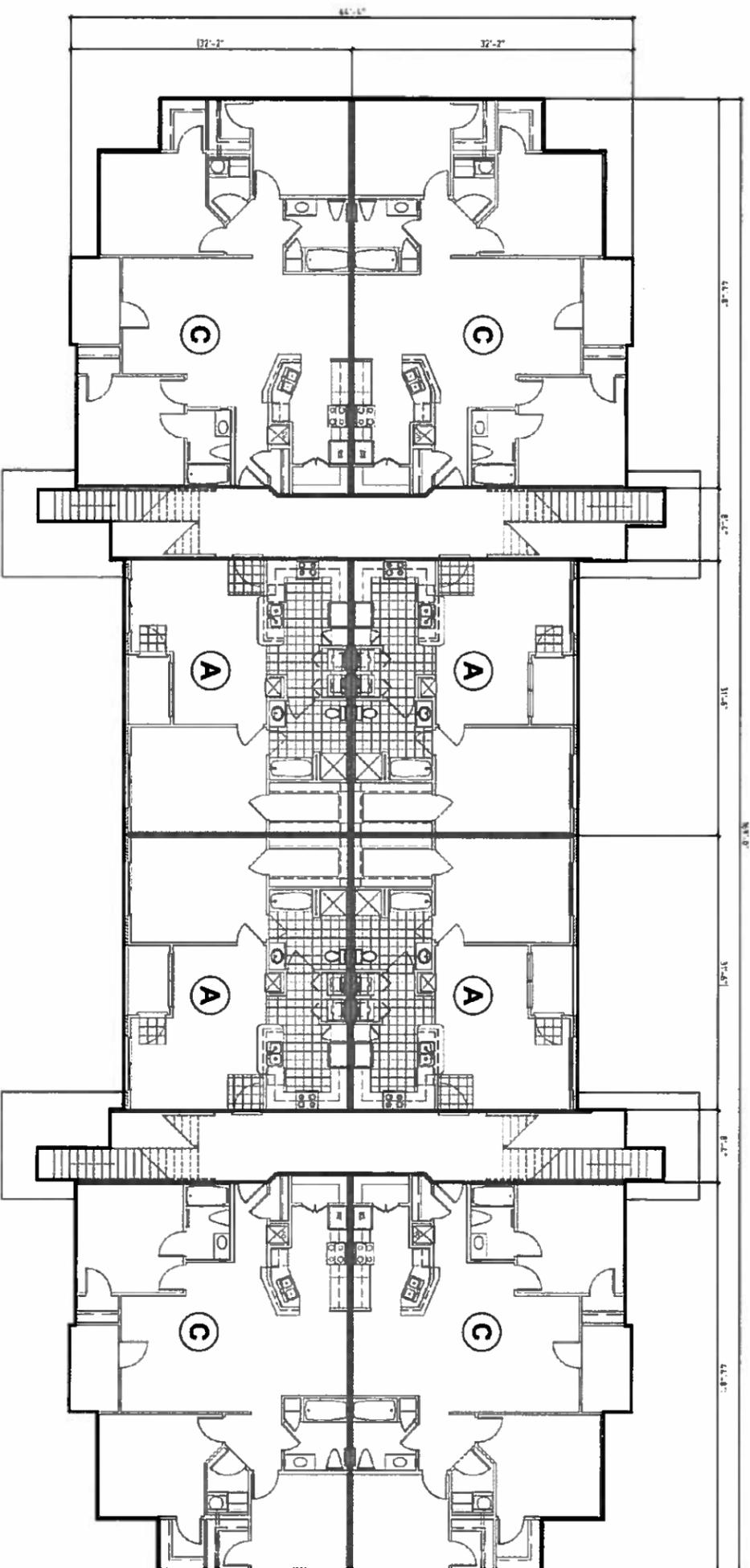
**SILVER OAKS**

CLIENT: ASCENSION PROPERTIES, INC.  
1818 BLAKE RD.  
PRATTVILLE, LA 70969

DESIGNER: BEND THE E.W. CAROLINA TRACT  
LOCATED IN SECTION 7 TOWNSHIP 7 EAST RANGE 8 SOUTH  
SOUTHEASTERN LANDS TRACT EAST OF THE MISSISSIPPI RIVER  
ASCENSION PARISH, LOUISIANA

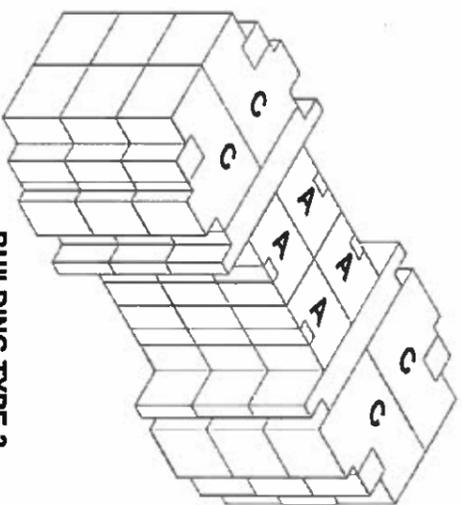
DATE: 14.07.13  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 1/8"=1'-0"

Sheet No. **4** OF **7**



**1 BUILDING TYPE 2**  
SCALE: 1/8"=1'-0"

BUILDING TYPE 2:									
LEVEL	UNIT TYPE	BED/BATH	NET AREA (RSPT)	GROSS AREA (GSA)	UNIT BLDG	TOTAL NET AREA (RSPT)	TOTAL GROSS AREA (GSA)	TOTAL AREA (GSA) W/ STAIRS	
A	31	785	826	4	3140	3298	14,000	29,178	
B	22	1278	1325	4	5112	5340	14,000	29,178	
C									
UNIT AREA SUBTOTAL PER FLOOR (M/2nd)					8	8252	8638	8726	
BLDG TOTALS					12	9420	9888	10,000	
UNIT AREA TOTAL					24	22,065	23,000	23,178	
PROJECT SUB-TOTAL:					2	44,132	51,816	58,356	



**BUILDING TYPE 2**

BUILDING ANALYSIS (TOTAL ON SITE)				
UNIT TYPE	BLDG TYPES	1	2	NUMBER OF UNITS
A	1 BED / 1 BATH	12	12	108
B	2 BED / 2 BATH	12	12	144
C	3 BED / 2 BATH	12	12	24
TOTAL UNITS:		24	48	336

NOTE:  
ALL DRAWINGS LOCATED ON THIS SHEET PROVIDED BY "THE ARCHITECTURAL STUDIO"

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james@archstudio.com

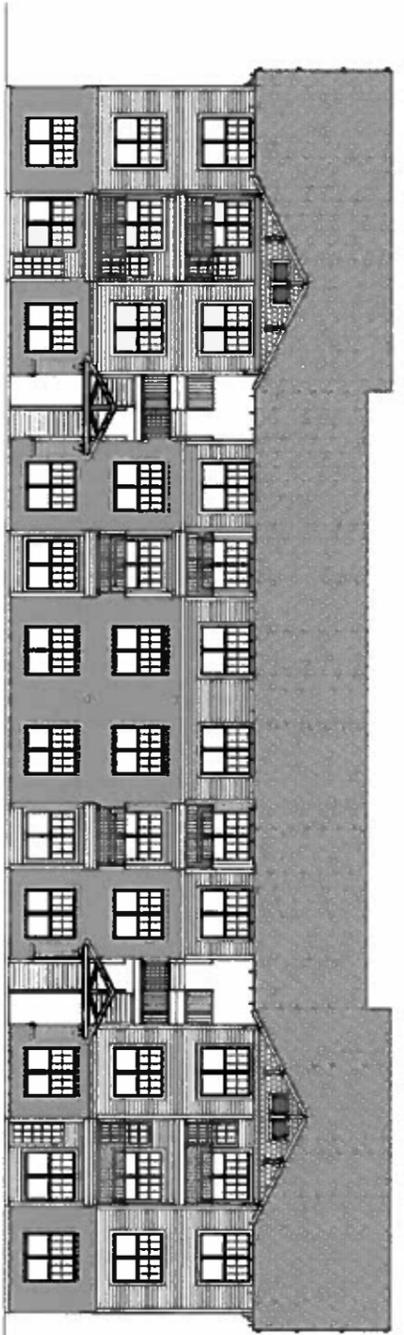
**QUALITY**  
Engineering & Surveying, LLC  
1100 North Third Street  
Tulsa, Oklahoma 74103  
TEL: 918.466.1000 FAX: 918.466.1342  
www.QEBA.com

PROJECT: ARCHITECTURAL BUILDING TYPE 2  
SILVER OAKS

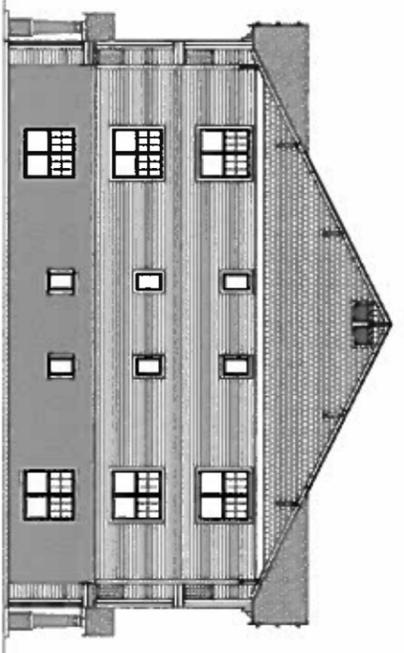
DESCRIPTION: REMOVAL OF EXISTING TRACT LOCATED IN SECTION 7 TOWNSHIP 21 EAST RANGE 8 SOUTH SOLENDRETT PARISH, ASCENSION PARISH, LOUISIANA

CLIENT: ASCENSION PROPERTIES INC.  
101 N. BLAINE RD.  
TRAILBILT, LA 70569

DATE: JANUARY 2018  
SCALE: 5 OF 7



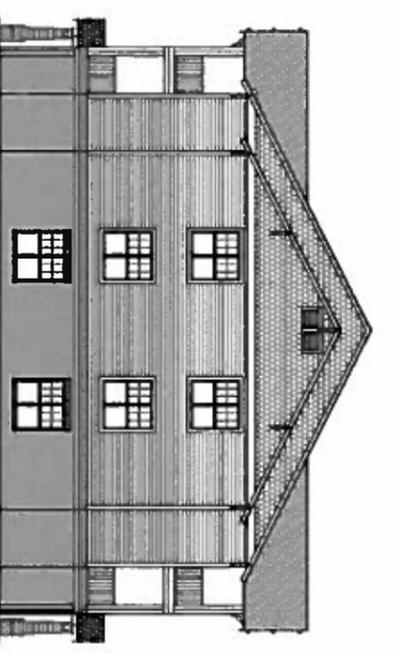
**1 TYPICAL BUILDING TYPE 1 - FRONT ELEVATION**  
SCALE 3/32"=1'-0"



**2 TYPICAL BUILDING TYPE 1 - SIDE ELEVATION**  
SCALE 3/32"=1'-0"



**3 TYPICAL BUILDING TYPE 2 - FRONT ELEVATION**  
SCALE 3/32"=1'-0"



**4 TYPICAL BUILDING TYPE 2 - SIDE ELEVATION**  
SCALE 3/32"=1'-0"

NOTE:  
ALL DRAWINGS LOCATED ON THIS SHEET PROVIDED BY "THE ARCHITECTURAL STUDIO"

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Home (225) 215-1177  
Fax (225) 215-1177  
info@archstudio.com

<p><b>THE ARCHITECTURAL BUILDING ELEVATIONS</b></p>	
<p><b>PROJECT</b></p> <p><b>SILVER OAKS</b></p>	<p><b>LOCATION</b></p> <p>BEND THE E.W. CARIBBEA TRACT LOCATED IN SECTION 7 TOWNSHIP 15 EAST RANGE 9 SOUTH SOUTHEASTERN LANDS TRACT EAST OF THE MISSISSIPPI RIVER ASCENSION PARISH, LOUISIANA</p>
<p><b>CLIENT</b></p> <p>ASCENSION PROPERTIES INC. 11111 AND PRALIERVILLE, LA 70199</p>	<p><b>DATE</b></p> <p>14-SEP-15</p> <p><b>SCALE</b></p> <p>AS SHOWN</p> <p><b>SHEET</b></p> <p>6 OF 7</p>
<p><b>QUALITY</b> Engineering &amp; Surveying, LLC 1000 North Third Street Baton Rouge, LA 70802 TEL: 225-388-1000 FAX: 225-388-1142 www.QSLLA.com</p>	



**PARISH OF ASCENSION**  
**OFFICE OF PLANNING AND DEVELOPMENT**  
**PLANNING DEPARTMENT**



SR 16-01

Item for Consideration:

Ordinance SR 16-01: Revisions to the Subdivision Regulations in the Unified Land Development Code pertaining to Cul-de-sac and T-turnaround requirements.

We would like to remove the ambiguous description of 2 lots in length and the distance of 250' and simply require that all dead end streets, public or private, end with a T- turnaround or cul-de-sac. This serves for emergency vehicles, school buses, trash collection, etc. to have the space required to make a three-point turn. Hardship variances may continue to be considered by the Planning Commission.

**What the LDC says now:**

**17-4020. E. 5:**

A cul-de-sac, as described in Section 17-40100, or a t-turnaround, as provided for in Section 17-4032(K), shall be required at the end of dead-end streets which provide access to subdivided lots, when the dead-end streets exceed two hundred fifty (250') feet, or a width of two (2) lots in length.

**17-4032. L:**

T-turnaround pavement shall be a minimum of 90' x 20' with 25' radii and within a 110' x 40' right-of-way.

**What the LDC should say:**

**17-4020. E. 5:**

A cul-de-sac, as described in Section 17-40100, or a t-turnaround, as provided for in Section 17-4032(L), shall be required at the end of **all** dead-end streets **within public right of ways or private servitudes of access.**

**17-4032. L:**

T-turnaround or L-turnaround pavement shall be a minimum of 90' x 20' with 25' radii and within a 110' x 40' **public right-of-way or 90' x 30' private servitude of access.**

**17-40100. Definitions**

**Dead-end street:** Any street or portion of a street that is open for vehicular traffic at one end only. (SR16-01 2/18/16)

**PARISH OF ASCENSION**  
**OFFICE OF PLANNING AND DEVELOPMENT**  
**PLANNING DEPARTMENT**



**ORDINANCE NO. SR16-01**

**REVISIONS TO SECTION 17-4020.E.5, 17-4032.L AND  
17-40100 IN APPENDIX IV OF THE PARISH UNIFIED  
LAND DEVELOPMENT CODE PERTAINING TO CUL-DE-  
SAC AND T-TURNAROUND REQUIREMENTS.**

**PURPOSE:** The purpose of this ordinance is to revise language in Section 17-4020, 17-4032 and 17-40100 in Appendix IV of the Subdivision Regulations of the Unified Land Development Code.

**WHEREAS:** Ascension Parish is a local governmental subdivision as defined by Article VI, Section 44 of the Louisiana Constitution of 1974, and

**WHEREAS:** The Parish of Ascension is the governing and responsible body within this jurisdiction, and

**WHEREAS:** Article VI of the Home Rule Charter of Ascension Parish, adopted May 4, 1993, identifies the process and manner in which to adopt ordinances regulating the lands of this Parish, and

**WHEREAS:** This code was incorporated as Appendix IV – Subdivision Regulations of the Parish Unified Land Development Code adopted December 17, 2009, and

**BE IT ORDAINED** by the Ascension Parish Governing Authority that Section 17-4020, 17-4032 and 17-40100 in Appendix IV of the Unified Land Development Code is hereby amended as follows. These changes are adopted as follows:

See attached Appendix IV – Section 17-4020.E.5 (Exhibit 1) and 17-4032.L (Exhibit 2) 17-40100 (Exhibit 3)

**SEVERABILITY:** In the event that any portion of this Ordinance is ever held invalid or unconstitutional for any reason by any court of competent jurisdiction over it, such portion shall be deemed a separate, distinct, and independent provision(s) and shall not affect the validity of the remaining portion(s) of the Ordinance.

**EFFECTIVE DATE:** This ordinance shall be in full effect as permitted by law

**EXHIBITS:** Appendix IV – Section 17-4020.E.5, 17-4032.L and 17-40100

**ADOPTION:** This ordinance having been submitted to a vote, the vote thereon was as follows:

Oliver Joseph, Bill Dawson, Travis Turner, Dempsey Lambert, Teri Casso, Randy Clouatre, Aaron Lawler, Todd Lambert, John Cagnolatti, Benny Johnson, Daniel Satterlee

Yeas:

Nays:

Not Voting:

Absent:

And this ordinance was passed on this \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
**Attest: President's Clerk**

\_\_\_\_\_  
**Kenny Matassa, Parish President**

## Exhibit 1

### 17-4020. Major Subdivision Design Guidelines:

#### E. Block Standards

1. Block lengths shall not exceed the standards as set in Table C.
2. In blocks over 900 feet in length the planning commission may require a pedestrian crosswalk with a right-of-way not less than ten (10) feet in width to provide circulation, or access to schools, playgrounds, shopping centers, transportation, or other community facilities.
3. In the case where lot widths are mixed, block lengths listed (Appendix I - Table C) shall apply to the longer distance, if there are at least 20% of the larger lots located in the block.
4. When a normal block arrangement is impossible or undesirable, there may be established one (1) or more "places". Such a "place" may be in the form of a court, a street with a cul-de-sac, t-turnaround, or other arrangement approved by the planning commission; provided, however, that proper access shall be given to all lots from a dedicated street or court. Appendix IV: Subdivision Regulations Page 24 of 57
5. A cul-de-sac, as described in Section 17-40100, or a t-turnaround, as provided for in Section 17-4032(L), shall be required at the end of all dead-end streets within public right of ways or private servitudes of access.  
(SR07-01, 1/18/07; DC09-09, 12/17/09; SR13-9, 10/3/13; SR16-01 2/18/16)

## Exhibit 2

### **17-4032. Street Requirements:**

L. T-turnaround or L-turnaround pavement shall be a minimum of 90' x 20' with 25' radii and within a 110' x 40' **public** right-of-way or **90' x 30' private servitude of access.**

(SR07-01, 1/18/07; SR07-02, 10/4/07; DC09-09, 12/17/09; **SR16-01 2/18/16**)

## Exhibit 3

### **17-40100. Definitions**

**Dead-end street:** Any street or portion of a street that is open for vehicular traffic at one end only. (SR16-01 2/18/16)

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16-2

Item for Consideration:

**Ordinance SR16-2: Revisions to the Subdivision Regulations in the Unified Land Development Code – Section 17-405.I Preliminary Plat Procedure, Section 17-408 Procedure for Construction and Section 17-409 Construction**

The purpose of these revisions is to change the responsibility of a traffic impact study from the developer to the Parish and to address the inspection, sampling of materials and testing lab when a subdivision is under construction.

These revisions propose to amend the Subdivision Regulations to require a developer to pay the Parish a pre-determined fee, in order to facilitate the Parish hiring a traffic consultant to perform a traffic study for the area in question. It has been discussed, that if the Parish truly wants to know what the implications are for future development, then the Parish should be paying to get the answers, and not the developers that may or may not be able to steer that traffic consultant towards a desired result.

In addition, once a subdivision is under construction, it would be in the Parish's best interest to be responsible for contracting with a sampling and testing lab company that will be on-site to ensure that all construction is occurring according to approved construction plans, codes and Standard Specifications. Parish personnel will continue to perform field inspections and to orchestrate the testing process and require additional testing as they see fit to ensure the project will be acceptable to be incorporated under the Parish's maintenance responsibility.

After adoption of this ordinance, the Parish will prepare a Request for Qualifications for companies that provide testing services of construction materials and products. It is anticipated that the Parish will need several companies on contract to meet the demand of developments under construction at a given time. The developer/owner would be required to pay a pre-determined fee for the testing cost as set out on a fee schedule that is based on the size of the development.

**What the Code currently says:**

**17-405. Preliminary Plat Procedure**

- I. The Department of Public Works and the engineer review agency shall require a sub divider to provide a drainage impact study and a traffic impact study for a proposed preliminary plan and to require a conclusion and plan that offsets any

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adverse impact that the development may have on the drainage system or the roads/traffic of the Parish of Ascension. The engineer review agency and Department of Public Works must agree or disagree with the findings of the engineer, or sub divider, or person that submits the drainage plan, and/or traffic study, and any discrepancies between the findings of the engineer, sub divider, or person who submits the discrepancies between the findings of the agency and the Department of Public Works will be decided in favor of the engineer review agency and the Department of Public Works at its discretion. The Department of Public Works and engineer review agency may waive the requirement for a drainage impact study and/or a traffic impact study at its discretion..

(SR07-01, 1/18/07; DC09-09, 12/17/09)

**What the Revised Code will say:**

**17-405. Preliminary Plat Procedure**

**I. DRAINAGE IMPACT STUDY**

1. The Department of Public Works and the engineer review agency shall require a sub divider to provide a drainage impact study for a proposed preliminary plan and to require a conclusion and plan that offsets any adverse impact that the development may have on the drainage system of the Parish of Ascension.
2. The engineer review agency and Department of Public Works must agree or disagree with the findings of the engineer, or sub divider, or person that submits the drainage plan, and any discrepancies between the findings of the engineer, sub divider, or person who submits the discrepancies between the findings of the agency and the Department of Public Works will be decided in favor of the engineer review agency and the Department of Public Works at its discretion.
3. The Department of Public Works and engineer review agency may waive the requirement for a drainage impact study at its discretion.

(SR07-01, 1/18/07; DC09-09, 12/17/09; SR16-2, 3/17/16)

**J. TRAFFIC IMPACT STUDY**

1. The Department of Public Works and/or the engineer review agency shall prepare a traffic impact study for a proposed development.
2. The Traffic Impact Study (TIS) will address the development's traffic impact on the connecting Parish and/or LADOTD road systems within one (1) mile of the development.

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3. The developer/owner shall be required to pay for the cost of the traffic impact study as set out in a pre-determined fee schedule that is based on the number of residential lots and/or size of the commercial development proposed.
4. The developer/owner will be required to comply with the conclusions of the TIS for improvements that offset the adverse impact caused by the additional traffic from the development.

(SHOULD THERE BE AN APPEAL PROCESS?? – Discuss with Commission – Is the Public Hearing the appeal process?)

5. The Department of Public Works and the engineering review agency may waive the requirements for a Traffic Impact Study at its discretion.

**What the Code currently says:**

**17-408 Procedure for Construction**

- B. Construct improvements.
  1. Before construction begins, written notice shall be given to the Planning & Zoning Commission, Department of Public Works and the Engineering Review Agency.
  2. When the development is ready for an intermediate inspection, written request from the Developer's Engineer shall be given to the Planning & Zoning Commission, the Department of Public Works and the Engineering Review Agency.
- C. Acceptance of improvements and posting of maintenance bond.
  1. When construction (public and private) is complete and in accordance with the approved plans and specifications and complies with the provisions of these regulations, the Developer's Engineer shall certify such and request, in writing, final approval and acceptance from the Designated Engineering Review Agency. This request shall be given to the Planning & Zoning Commission and the Department of Public Works.

(SR07-01, 1/18/07; DC09-09, 12/17/09)
  2. Copies of all testing lab reports shall be submitted along with the written request for final inspection. A final inspection will be scheduled upon request when all significant construction activities are completed. All testing reports required on the Construction Certification Testing Requirements checklist must be received a minimum of two weeks prior to a Planning Commission meeting in order to be included on the agenda

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for that meeting. All testing reports required on the Construction Certification Testing Requirements checklist must be reviewed, and found to be in accordance with the approved construction specifications by Chief Engineer or designee in order to receive an unconditional recommendation of approval from the Engineering Department.

(SR07-01, 1/18/07; DC09-09, 12/17/09; SR12-16, 12/20/12)

**17-409. Construction**

- A. When approved construction plans, which shall include culvert drawings showing locations, sizes and gages thereof, shall have been filed with the planning commission, the sub divider, after notifying the chairman or his designated engineering review agency, in writing, and obtaining a construction permit, may construct the required improvements.
- B. Construction shall be reviewed and inspected by the *Designated Engineering Review Agency* and the Department of Public Works. The *Designated Engineering Review Agency* and the Department of Public Works shall establish detailed inspection requirements for each project.
- C. Neither the *Designated Engineering Review Agency* nor the Development Permit Officer shall accept any construction work which is in such condition as it will require needed and excessive maintenance by the public.
- D. In lieu of immediate construction of improvements, the sub divider may provide the commission with a performance surety bond securing to the government the satisfactory construction of the proposed improvements within a period of not more than two (2) years from the date of such bond. The amount of the bond shall be approved by the *Designated Engineering Review Agency* and the form of the bond shall be approved by the government's parish attorney. The bond shall be subject to cancellation only upon written approval of the *Designated Engineering Review Agency*. The bond shall be issued by a company listed with the U.S. Treasury Circular 570.
- E. Testing: The *Designated Engineer Review Agency* shall approve the testing laboratory selected by the developer/contractor. The *Designated Engineer Review Agency* is to determine the extent of testing required by the developer/contractor at his selected laboratory and may order testing as it deems appropriate and necessary. The developer/contractor is to pay for these testing services.

**What the Revised Code will say:**

**17-408 Procedure for Construction**

- B. Construct improvements.

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1. Before construction begins, written notice shall be given to the Planning & Zoning Commission, Department of Public Works and the Engineering Review Agency 24 hours prior to the start of construction.
2. When the development is ready for an intermediate inspection, written request from the Developer's Engineer shall be given to the Planning & Zoning Commission, the Department of Public Works and the Engineering Review Agency 24 hours prior to the start of construction.

(SR07-01, 1/18/07; DC09-09, 12/17/09; SR12-16, 12/20/12; SR16-2, 3/17/16)

**C. Acceptance of improvements and posting of maintenance bond.**

1. When construction (public and private) is complete and in accordance with the approved plans and specifications and complies with the provisions of these regulations, the Developer's Engineer shall certify such and request, in writing, final approval and acceptance from the Designated Engineering Review Agency. This request shall be given to the Planning & Zoning Commission and the Department of Public Works.

(SR07-01, 1/18/07; DC09-09, 12/17/09; SR16-2, 3/17/16)

2. A final inspection will be scheduled upon request when all significant construction activities are completed. All testing reports required on the Construction Certification Testing Requirements checklist must be in accordance with the approved construction specifications by Chief Engineer or designee in order to receive an unconditional recommendation of approval from the Engineering Department.

(SR07-01, 1/18/07; DC09-09, 12/17/09; SR12-16, 12/20/12; SR16-2, 3/17/16)

**17-409. Construction**

- F. When approved construction plans, which shall include culvert drawings showing locations, sizes and gages thereof, shall have been filed with the planning commission, the sub divider, after notifying the chairman or his designated engineering review agency, in writing, and obtaining a construction permit, may construct the required improvements.
- G. Construction shall be reviewed and inspected by the *Designated Engineering Review Agency* and the Department of Public Works. The *Designated Engineering Review Agency* and the Department of Public Works shall establish detailed inspection requirements for each project.

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- H. Neither the *Designated Engineering Review Agency* nor the Development Permit Officer shall accept any construction work which is in such condition as it will require needed and excessive maintenance by the public.
- I. In lieu of immediate construction of improvements, the sub divider may provide the commission with a performance surety bond securing to the government the satisfactory construction of the proposed improvements within a period of not more than two (2) years from the date of such bond. The amount of the bond shall be approved by the *Designated Engineering Review Agency* and the form of the bond shall be approved by the government's parish attorney. The bond shall be subject to cancellation only upon written approval of the *Designated Engineering Review Agency*. The bond shall be issued by a company listed with the U.S. Treasury Circular 570.
- J. Testing: The *Designated Engineer Review Agency* shall provide the testing laboratory for the project. The *Designated Engineer Review Agency* is to determine the extent of testing required for the project and may order additional testing as it deems appropriate and necessary. The developer/contractor is to pay for these testing services as set out in the pre-determined fee schedule.

(SR07-01, 1/18/07; DC09-09, 12/17/09; SR16-2, 3/17/16)

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**ORDINANCE NO. SR16-2**

**REVISION OF SECTION 17-405.I, SECTION 17-408,  
AND SECTION 17-409, PARISH UNIFIED LAND  
DEVELOPMENT CODE, PROVIDING SEVERABILITY,  
AND EFFECTIVE DATE.**

**PURPOSE:** The purpose of this ordinance is to revise language in the Subdivision Regulations in Appendix IV of the Unified Land Development Code.

**WHEREAS:** Ascension Parish is a local governmental subdivision as defined by Article VI, Section 44 of the Louisiana Constitution of 1974, and

**WHEREAS:** The Parish of Ascension is the governing and responsible body within this jurisdiction, and

**WHEREAS:** Article VI of the Home Rule Charter of Ascension Parish, adopted May 4, 1993, identifies the process and manner in which to adopt ordinances regulating the lands of this Parish, and

**WHEREAS:** This code was incorporated as Appendix IV – Subdivision Regulations of the Parish Unified Land Development Code adopted December 17, 2009, and

**BE IT ORDAINED** by the Ascension Parish Governing Authority that the Subdivision Regulations in Appendix IV of the Unified Land Development Code is hereby amended as follows. These changes are adopted as follows:

See attached Appendix IV – Subdivision Regulations – Sections 17-405.I, 17-408. and 17-409.

**SEVERABILITY:** In the event that any portion of this Ordinance is ever held invalid or unconstitutional for any reason by any court of competent jurisdiction over it, such portion

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shall be deemed a separate, distinct, and independent provision(s) and shall not affect the validity of the remaining portion(s) of the Ordinance.

**EFFECTIVE DATE:** This ordinance shall be in full effect as permitted by law

**EXHIBITS:** Appendix IV – Subdivision Regulations – Sections 17-405.I, 17-408. and 17-409.

**ADOPTION:** This ordinance having been submitted to a vote, the vote thereon was as follows:

Oliver Joseph, Bill Dawson, Travis Turner, Dempsey Lambert, Teri Casso, Randy Clouatre, John Cagnolatti, Todd Lambert, Aaron Lawler, Benny Johnson, Daniel Satterlee

Yeas:

Nays:

Not Voting:

Absent:

And this ordinance was passed on this \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Attest: President's Clerk

\_\_\_\_\_  
Kenny Matassa, Parish President

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**EXHIBITS:**

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